



**Harker Heights
Planning and Zoning
Commission
Meeting & Workshop**

**Wednesday,
April 28, 2021
5:30 P.M. Meeting**

Workshop Immediately Following



**PLANNING & ZONING COMMISSION MEETING & WORKSHOP
THE CITY OF HARKER HEIGHTS
WEDNESDAY, APRIL 28, 2021 – 5:30 P.M.
VIA TELECONFERENCE**

Notice is hereby given that beginning at 5:30 P.M. on Wednesday, April 28, 2021, the Planning and Zoning Commission (P&Z) of the City of Harker Heights will conduct a telephonic Meeting; then immediately following the meeting the P&Z will hold a telephonic Workshop in order to contain the spread of COVID-19 in accordance with Governor Abbott’s declaration of the COVID-19 public health threat and action to temporarily suspend certain provisions of the Texas Open Meetings Act issued on March 16, 2020. The subjects to be discussed are listed in the following agenda:

MEETING AGENDA

- I. CALL TO ORDER** – Convene Regular Meeting of the Planning and Zoning Commission and establish a quorum.
- II. APPROVAL OF AGENDA** – Consider approval of the agenda for the regular meeting of the Planning and Zoning Commission for **April 28, 2021**.
- III. CONSENT AGENDA:**
 1. Approval of Minutes from the Regular Planning and Zoning Meeting held on March 31, 2021.
- IV.** Report on City Council results from April 13, 2021 meeting.
- V.** Recognition of Affidavits for Conflict of Interest.
- VI. PUBLIC COMMENTS:**
 1. At this time, comments will be taken from the audience on non-agenda related topics, for a length of time not to exceed three minutes per person. To address the Planning and Zoning Commission, please clearly state your name and address for the Planning & Development Administrative Assistant prior to making a comment. *No action may be taken by the Planning and Zoning Commission during Public Comments.*
- VII. PUBLIC HEARING:**

None

VIII. NEW BUSINESS:

1. **P21-14** Discuss and consider a request for Preliminary Plat approval for the subdivision referred to as The Village at Nolan Heights, on property described as a 47.65 acre tract of land in Bell County, Texas, being part of the H.B. Littlefield Survey, Abstract No. 511, and being all of the called 47.626 acre tract of land described in a deed to Cactus Jack Development, Inc., recorded in Instrument No. 2020-064289, Deed Records of Bell County, Texas, generally located North of KISD Middle School No. 14, AKA Nolan Middle School along Warriors Path, Harker Heights, Bell County, Texas.

IX. REPORTS FROM COMMISSIONERS

X. STAFF COMMENTS

XI. ADJOURNMENT

MEETING WORKSHOP

- I. Convene Workshop immediately following the Planning and Zoning Commission (P&Z) Meeting.
- II. Presentations by Staff:
 1. Receive & discuss update regarding the update to Section 1 of the Future Land Use Map.
- III. Adjournment of Workshop.

I, the undersigned authority, do hereby certify that pursuant to the Texas Open Meetings Act, the above Notice of Meeting of the Planning and Zoning Commission of the City of Harker Heights, Texas, was posted at the Harker Heights Municipal Building, and the City of Harker Heights website which is readily accessible to the public at all times, by **10:00 A.M. on Friday, April 23, 2021**. Please contact the Planning and Development Department at (254) 953-5648 for further information.

Wilson Everett

Wilson Everett, Planning & Development Administrative Assistant

The public may participate remotely in this meeting by dialing-in using:
United States (Toll Free): 1 866-899-4679 or 1 571-317-3116
Access Code: 274-159-949

The public may participate remotely in this meeting from your computer, tablet, or smartphone by clicking on the link below:

<https://global.gotomeeting.com/join/274159949>

The public will be permitted to offer public comments telephonically as provided by the agenda. Written questions or comments may be submitted two hours before the meeting to the Planning and Development Department. When submitting your written questions or comments, you must include your Name and Address. Agenda packet and recording of the telephonic meeting will be posted on the City of Harker Heights website at www.harkerheights.gov



*Minutes of the Teleconference Meeting
of the Harker Heights Planning & Zoning Commission
March 31, 2021*

Present:

Commission

Larry Robison	Chairman
Robert Robinson III	Vice Chairman
Adam Parker	Secretary
Noel Webster	Commissioner
Nuala Taylor	Commissioner
Rodney Shine	Commissioner
Joshua McCann	Commissioner
Stephen Watford	Commissioner
Kay Carey	Commissioner

Michael Stegmeyer	Alternate Commissioner
Bary Heidtbrink	Alternate Commissioner
Natalie Austin	Alternate Commissioner

Staff

Kristina Ramirez	Planning and Development Director
Courtney Peres	City Planner
Michael Beard	Building Official
Brad Alley	Fire Marshal
Wilson Everett	Planning and Development Administrative Assistant
Courtney Fye	Building Official Secretary

Absent:

Christopher Albus	Alternate Commissioner
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Meeting Agenda:

Agenda Item I: A quorum was established, and the teleconference meeting for the Planning and Zoning Commission was called to order at 6:31 P.M.

Agenda Item II: The next agenda item was approval of the agenda for the Regular Planning and Zoning Meeting for March 31, 2021. Courtney Peres noted that under **New Business VIII-I CP21-05** had been withdrawn from the meeting agenda per written request from the applicant. Secretary Parker made a motion to approve the agenda with Agenda Item VIII-I being removed for discussion. Commissioner Shine seconded the motion. **The motion was approved (8-0)**. It was noted that Vice Chairman Robinson was absent from this motion.

Agenda Item III: The next agenda item was approval of the meeting minutes from the Regular Planning and Zoning Meeting held on February 24, 2021. Secretary Parker made a motion to approve the meeting minutes. Commissioner Watford seconded the motion. **The motion was approved (8-0).** It was noted that Vice Chairman Robinson was absent from this motion.

Agenda Item IV: Ms. Peres went over the City Council results from the March 9, 2021 meeting.

Agenda Item V: Recognition of Affidavits for Conflict of Interest. There were no conflicts of interest submitted.

Agenda Item VI: Public Comments: There was no one present in person or attending virtually who wished to address the Planning and Zoning Commission.

Public Hearing:

Agenda Item VII:

1. Z21-07 Conduct a public hearing to discuss and consider recommending an ordinance to change the zoning designation from PD-R (Planned Development Residential) to B-4 (Secondary and Highway Business District) on property described as Stonewall Ridge Phase I, Lot Tract A, (Future Development), Acres 1.466, generally located near the intersection of Nola Ruth Blvd. and Old Nolanville Road, Harker Heights, Bell County, Texas.

Ms. Peres explained the applicant's request to change from the current zoning of PD-R (Planned Development Residential) with a base zoning of R1-A (Single Family Garden Home Residential District) to B-4 (Secondary and Highway Business District) for the purpose of commercial development with the intent to utilize zoning classes up to B-4. She noted that the property had previously been granted a PD-R classification by the City Council on February 10, 2015. The plats referred to as Stonewall Ridge Phases One and Two took advantage of the PD-R zoning and developed the existing forty (40) single family homes. The remaining 1.466 acres of undeveloped land was then identified as "Future Development".

Ashfaq Abbasi of 2004 Harvest Dr, Nolanville, Texas 76559 was present to represent his zoning request. Mr. Abbasi explained he would like to develop the property for multiple commercial uses; to include, a bowling alley, a dance studio, and a trade school.

Chairman Robison opened the public hearing. There was no one in the audience or attending virtually who wanted to address the case for rezoning. Chairman Robison closed the public hearing.

Commissioner Webster made a motion to disapprove an ordinance to change the zoning designation from PD-R (Planned Development Residential) to B-4 (Secondary and Highway Business District) on property described as Stonewall Ridge Phase I, Lot Tract A, (Future Development), Acres 1.466, generally located near the intersection of Nola Ruth Blvd. and Old Nolanville Road, Harker Heights, Bell County, Texas. Webster stated that his motion for denial was due to the inconsistency with the request per the 2015 site amendment (Ordinance 2015-02) to the 2007 Future Land Use Plan and concerns with vehicular and pedestrian safety as it exists to date. Commissioner Taylor seconded the motion. **The motion was approved to deny the request (9-0).**

2. Z21-08 Conduct a public hearing to discuss and consider recommending an ordinance to change the zoning designation from R-1 (One-Family Dwelling District) to R-2 (Two-Family Dwelling District) on property described as Valley View Second Ext, Block Seven (7), Lot Six (6), Acres 0.20, generally located at 122 E. Turnbo Road, Harker Heights, Bell County, Texas.

Ms. Peres explained the applicant's request to rezone the property from R-1 to R-2 for the purpose of constructing one (1) duplex on the property.

The applicant for this zoning request was not present in person or attending virtually to represent the request.

Chairman Robison opened the public hearing. There was no one in the audience or attending virtually who wanted to address the case for rezoning. Chairman Robison closed the public hearing.

Secretary Parker made a motion to approve an ordinance to change the zoning designation from R-1 (One-Family Dwelling District) to R-2 (Two-Family Dwelling District) on property described as Valley View Second Ext, Block Seven (7), Lot Six (6), Acres 0.20, generally located at 122 E. Turnbo Road, Harker Heights, Bell County, Texas. Commissioner Watford seconded the motion. **The motion was approved (9-0).**

3. Z21-09 Conduct a public hearing to discuss and consider recommending an ordinance to change the zoning designation from R-1 (One-Family Dwelling District) to R-1(M) (One Family Manufactured Home Dwelling District) on property described as Meadow Acres Retreat Addition AKA Retreat Addition, Lot Thirteen (13), Acres 0.16, generally located at 117 Bybee Ct, Harker Heights, Bell County, Texas.

Ms. Peres explained the applicant's request to change from the current zoning of R-1 (One Family Dwelling District) to R1-(M) (One Family Manufactured Home Dwelling District) for the purpose of installing a manufactured home on the property. She noted that the property had previously been taken to the Building and Standards Commission in 2018 and was determined that a site-built structure on the property was unsafe, substandard, dangerous, and in violation of the minimum standards set forth in §160.04. The case was ordered by the Commission to be demolish or removed from the property. On March 19, 20218 a demolition permit was pulled to remove the structure and all debris including foundation and sidewalks. All work was adequately completed, and the lot has remained vacant to date.

Mauricio Tinajero Resendiz of 118 Holmstrom St, Hutto, Texas 78634 was present to represent his zoning request.

Chairman Robison opened the public hearing. There was no one in the audience or attending virtually who wanted to address the case for rezoning. Chairman Robison closed the public hearing.

Secretary Parker made a motion to disapprove an ordinance to change the zoning designation from R-1 (One-Family Dwelling District) to R-1(M) (One Family Manufactured Home Dwelling District) on property described as Meadow Acres Retreat Addition AKA Retreat Addition, Lot Thirteen (13), Acres 0.16, generally located at 117 Bybee Ct, Harker Heights, Bell County, Texas. Secretary Parker stated that his motion for denial was due to the inconsistency of the request with the Future Land Use Plan and in the adopted 2007 Comprehensive Plan, and that the proposed use and rezoning are inconsistent with the site-built homes along Bybee Court..

Commissioner McCann seconded the motion. **The motion was approved to deny the request (9-0).**

4. Z21-10 Conduct a public hearing to discuss and consider recommending an ordinance to change the zoning designation from R-1 (One-Family Dwelling District) to R-2 (Two-Family Dwelling District) on property described as Wildewood Acres, Block Seven (7), Lot Nine (9), & 10 foot strip adjacent on North, Acres 0.17, generally located at 917 Maplewood Drive, Harker Heights, Bell County, Texas.

Ms. Peres explained the applicant's request to rezone the property from R-1 to R-2 for the purpose of constructing one (1) duplex on the property. She noted the property was platted to its current configuration in 1972 and therefore is permitted the specified setback and area requirements as outlined in the R-2 zoning district. The lots in the Wildewood Subdivision, and duplex lots platted prior to November 8, 2006, shall have six-foot-minimum side setbacks, except when siding on a street such setback shall be a minimum of 15 feet and lot area shall be a minimum of 7,800 square feet.

Raymond Hamden of P.O. Box 2008, Harker Heights, Texas 76548 was present to represent his zoning request. He noted that the duplex will consist of a three-bedroom, two-bathroom, one car garage configuration.

Chairman Robison opened the public hearing. There was no one in the audience but one (1) citizen attending virtually who wanted to address the case for rezoning. Hector Gomez of 919 Maplewood Dr., Harker Heights, Texas 76548 was present to speak in opposition of the rezone request.

Chairman Robison closed the public hearing.

Secretary Parker made a motion to approve an ordinance to change the zoning designation from R-1 (One-Family Dwelling District) to R-2 (Two-Family Dwelling District) on property described as Wildewood Acres, Block Seven (7), Lot Nine (9), & 10 foot strip adjacent on North, Acres 0.17, generally located at 917 Maplewood Drive, Harker Heights, Bell County, Texas. Commissioner McCann seconded the motion. **The motion was approved (6-3).** Vice Chairman Robinson, Commissioner Taylor, and Commissioner Watford disapproved the motion.

New Business:

Agenda Item IX:

1. CP21-05 Discuss and consider a request for Concept Plan referred to as The Hills of Stillhouse Hollow Phase Two (2) on property described as A0223BC W B Cross, 2-3, Acres 5.676, generally located east of 12965 E. Knights Way (E. FM 2410), Harker Heights, Bell County, Texas.

The applicant requested in writing to withdraw their application.

2. P21-13 Discuss and consider a request for Preliminary Plat approval for the subdivision referred to as Abooha Toklo Phase Three, on property described as a 13.740 acre tract of land in Bell County, Texas, being part of the H.B. Littlefield Survey, Abstract No. 511, the land herein described being all of Lot eight (8), Block one (1), Amended Plat of Marley Addition, an addition to the City of Harker Heights, Texas, being of record in Cabinet C, Slide 123-A, also being the remainder of Lot three (3), Block one (1), Abooha Toklo Addition, Phase One, generally located south of KISD Middle School #14, AKA Nolan Middle School, on properties between Pueblo and Warriors Path, Harker Heights, Bell County, Texas.

Ms. Peres explained the applicants request for the plat. She noted that plat consists of two (2) blocks and a total of forty-seven (47) residential lots. To include, the subject properties are all currently zoned as R-2 (Two Family Dwelling District) and are proposed to be developed in accordance with the existing zoning classification.

Ace Reneau with Mitchell and Associates, offices located at 102 N College St, Killeen, Texas 76541, was present to represent the case.

Commissioner Shine made a motion to conditionally approve the Preliminary Plat approval for the subdivision referred to as Abooha Toklo Phase Three, on property described as a 13.740 acre tract of land in Bell County, Texas, being part of the H.B. Littlefield Survey, Abstract No. 511, the land herein described being all of Lot eight (8), Block one (1), Amended plat of Marley Addition, an addition to the City of Harker Heights, Texas, being of record in Cabinet C, Slide 123-A, also being the remainder of Lot three (3), Block one (1), Abooha Toklo Addition, Phase One, generally located south of KISD Middle School #14, AKA Nolan Middle School, on properties between Pueblo and Warriors Path, Harker Heights, Bell County, Texas.

Per Section 154.21(D)(4) of the City of Harker Heights' Code of Ordinances, the following shall be addressed prior to approval of the final plat: a. Provide for the required minor arterial right-of-way width along Warrior's Path (Lot 24, Block 1 shall be in line with Lot 23, Block 2). b. Place a note on the plat dedication page indicating that no access will be granted onto Warrior's Path from the following lots: Lot 24, Block 2 and Lot 23, Block 2.

Commissioner Watford seconded the motion. **The motion was approved (7-2).** Vice Chairman Robinson and Commissioner Webster disapproved the motion.

Chairman Robison then adjourned the teleconference meeting of the Planning and Zoning Commission at 8:05 P.M.

Larry Robison, Chairman

DATE:

Adam Parker, Secretary

DATE:



PLANNING AND ZONING COMMISSION MEMORANDUM

P21-14

AGENDA ITEM VIII-01

FROM: THE OFFICE OF THE DIRECTOR OF PLANNING & DEVELOPMENT
DATE: APRIL 28, 2021

DISCUSS AND CONSIDER A REQUEST FOR PRELIMINARY PLAT APPROVAL FOR THE SUBDIVISION REFERRED TO AS THE VILLAGE AT NOLAN HEIGHTS, ON PROPERTY DESCRIBED AS A 47.65 ACRE TRACT OF LAND IN BELL COUNTY, TEXAS, BEING PART OF THE H.B. LITTLEFIELD SURVEY, ABSTRACT NO. 511, AND BEING ALL OF THE CALLED 47.626 ACRE TRACT OF LAND DESCRIBED IN A DEED TO CACTUS JACK DEVELOPMENT, INC., RECORDED IN INSTRUMENT NO. 2020-064289, DEED RECORDS OF BELL COUNTY, TEXAS, GENERALLY LOCATED NORTH OF KISD MIDDLE SCHOOL NO. 14 (NOLAN MIDDLE SCHOOL) ALONG WARRIORS PATH, HARKER HEIGHTS, BELL COUNTY, TEXAS.

PROJECT DESCRIPTION:

The applicant has submitted an application for preliminary plat approval for approximately 47.65 acres of vacant land along Warriors Path. The development consists of 150 residential lots; 130 lots dedicated for single family homes and 20 lots dedicated for duplexes as stipulated within the development's approved Concept Plan – The Village at Nolan Heights (CP20-04). The subject property is zoned appropriately as R-1 (One Family Dwelling District) and R-2 (Two Family Dwelling District) for their respective development areas. The plat has identified three means of ingress/egress for the development, proposed connections to City water and wastewater utilities, and sidewalks throughout the subdivision.

Per the City of Harker Heights Code of Ordinances Section 154.36:

(A) Development Costs. The developer/property owner shall install, at his or her own expense, all water lines, streets, sidewalks, sewer lines, storm sewer lines, drainage facilities and structures within the subdivision, in accordance with City standards governing the same, including all engineering costs covering design, layout and construction.

(B) Development Mains. Developers shall pay the actual cost of water and sewer main extensions, water towers, and associated facilities and equipment, force mains and lift stations required to serve their development area including costs of right-of-way and easement acquisition. Required facilities shall be extended to the edge of adjacent land along street side or as determined by the City.

The City has recently conducted an engineering study for this sewer basin and identified the need for improvements to wastewater lines and a sanitary sewer lift station that service the subject area. The applicant met with staff to discuss sewer capacity in this portion of the city. The applicant subsequently requested a Development Agreement to address sewer capacity expansion and construction timelines. City staff and the City Attorney are in the preliminary review stage of the applicant's request. The applicant's request stems from the lack of adequate sewer capacity to service the number of proposed lots within this subdivision.

Staff has reviewed the submitted preliminary plat and engineering plans and have made comments to address safety, drainage, water and wastewater utilities and other pertinent requirements to ensure that all developmental regulations stipulated in the City of Harker Heights Code of Ordinances will be adhered to. Whether the applicant enters into a Developer Agreement with the City or installs the offsite sewer system upgrades needed to service this subdivision themselves, the submitted engineering plans for the subdivision are in accordance with the City's subdivision ordinance.

STAFF RECOMMENDATION:

As of April 21, 2021, all of staff's comments had been adequately addressed. Staff therefore recommends approval of the request for Preliminary Plat approval for the subdivision referred to as The Village at Nolan Heights, on property described as a 47.65 acre tract of land in Bell County, Texas, being part of the H.B. Littlefield Survey, Abstract No. 511, and being all of the called 47.626 acre tract of land described in a deed to Cactus Jack Development, Inc., recorded in Instrument No. 2020-064289, Deed Records of Bell County, Texas, generally located North of KISD Middle School No. 14, AKA Nolan Middle School along Warriors Path, Harker Heights, Bell County, Texas.

ACTION BY THE PLANNING AND ZONING COMMISSION:

1. Motion to **approve, approve with conditions, or disapprove with explanation** a request for Preliminary Plat approval for the subdivision referred to as The Village at Nolan Heights, on property described as a 47.65 acre tract of land in Bell County, Texas, being part of the H.B. Littlefield Survey, Abstract No. 511, and being all of the called 47.626 acre tract of land described in a deed to Cactus Jack Development, Inc., recorded in Instrument No. 2020-064289, Deed Records of Bell County, Texas, generally located North of KISD Middle School No. 14, AKA Nolan Middle School along Warriors Path, Harker Heights, Bell County, Texas.
2. Any other action desired.

ATTACHMENTS:

1. Application
2. The Village at Nolan Heights - Preliminary Plat
3. The Village at Nolan Heights - Preliminary Engineering Documents
4. Location Map
5. The Village at Nolan Heights Concept Plan (Approved on January 12, 2021)
6. Staff Comments with Responses (Sent 04/07/21, Response 04/12/21, Sent 4/19/21, Response 4/20/21).



Preliminary Plat Application

*** Requirements - APPLICATION MUST BE FULLY COMPLETED OR WILL NOT BE ACCEPTED***

This application must be completed returned to the Planning Development Department of the City of Harker Heights, Texas along with the following:

1. Pre-Application Meeting with Staff to ensure applicability
2. Payment of \$500.00 + \$25/per lot
3. Signed Original Field Notes and Dedication Pages
4. Paper Plan Submissions: Ten (10) Copies of the Plat and Seven (7) Copies of Preliminary Engineering Drawings
5. Electronic Submission of all documents for review delivered to Planning Administrative Assistant

City of Harker Heights
 Planning & Development
 305 Millers Crossing
 Harker Heights, TX 76548
 Phone: (254) 953-5647
 Fax: (254) 953-5666

Property Information:

Plat Name: The Village at Nolan Heights **Date Submitted:** 3-31-2021
Existing Lot Count: 0 **Proposed Lot Count:** 150 **Proposed Units:** _____ **Acreage:** 47.63
Existing Land Use: Vacant/Agriculture **Proposed Land Use:** Single-Family Residence

Site Address or General Location: West of Warriors Path, Approximately 0.8 miles south of Old Nolanville Rd.

Public Infrastructure Proposed with Subdivision: Water Wastewater Streets (including Private) Stormwater

Owner Information & Authorization:

Property Owner: Cactus Jack Development

Address: 1629 S. Fort Hood Street, Killeen, Texas 76542

Phone: [REDACTED] E-Mail: [REDACTED]

Developer: Cactus Jack Development

Address: 1629 S. Fort Hood Street, Killeen, Texas 76542

Phone: [REDACTED] E-Mail: [REDACTED]

Engineer/Surveyor: Republic Engineering & Development Services, Joseph Theriot P.E.

Address: P.O. Box 3123, Harker Heights, Texas 76548

Phone: [REDACTED] E-Mail: [REDACTED]

CHECK ONE OF THE FOLLOWING:

- I will represent the application myself.
- I hereby designate _____ (name of project representative) to act in the capacity as my agent for submittal, processing, representation, and/or presentation of this development application.

The property owner and/or their authorized representative must be present at all Planning and Zoning Commission Meetings and City Council Meetings at which their plan or plat is on the agenda for discussion or action. Failure of the developer or their authorized representative to appear during a meeting may be deemed a withdrawal of the plat or plan.

Dustin King

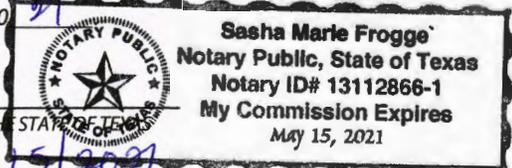
Printed Name of Owner

[Signature]
Signature of Owner

SWORN AND SUBSCRIBED BEFORE ME ON THIS 31
DAY OF March, 2021

[Signature]
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES: 05/15/2021



STAFF ONLY -- DO NOT FILL OUT

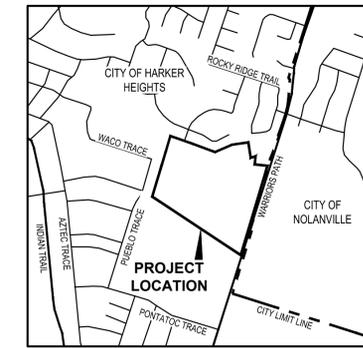
Date Submitted: 3/31/21 Received By: [Signature] Receipt #: 01678382

LEGEND

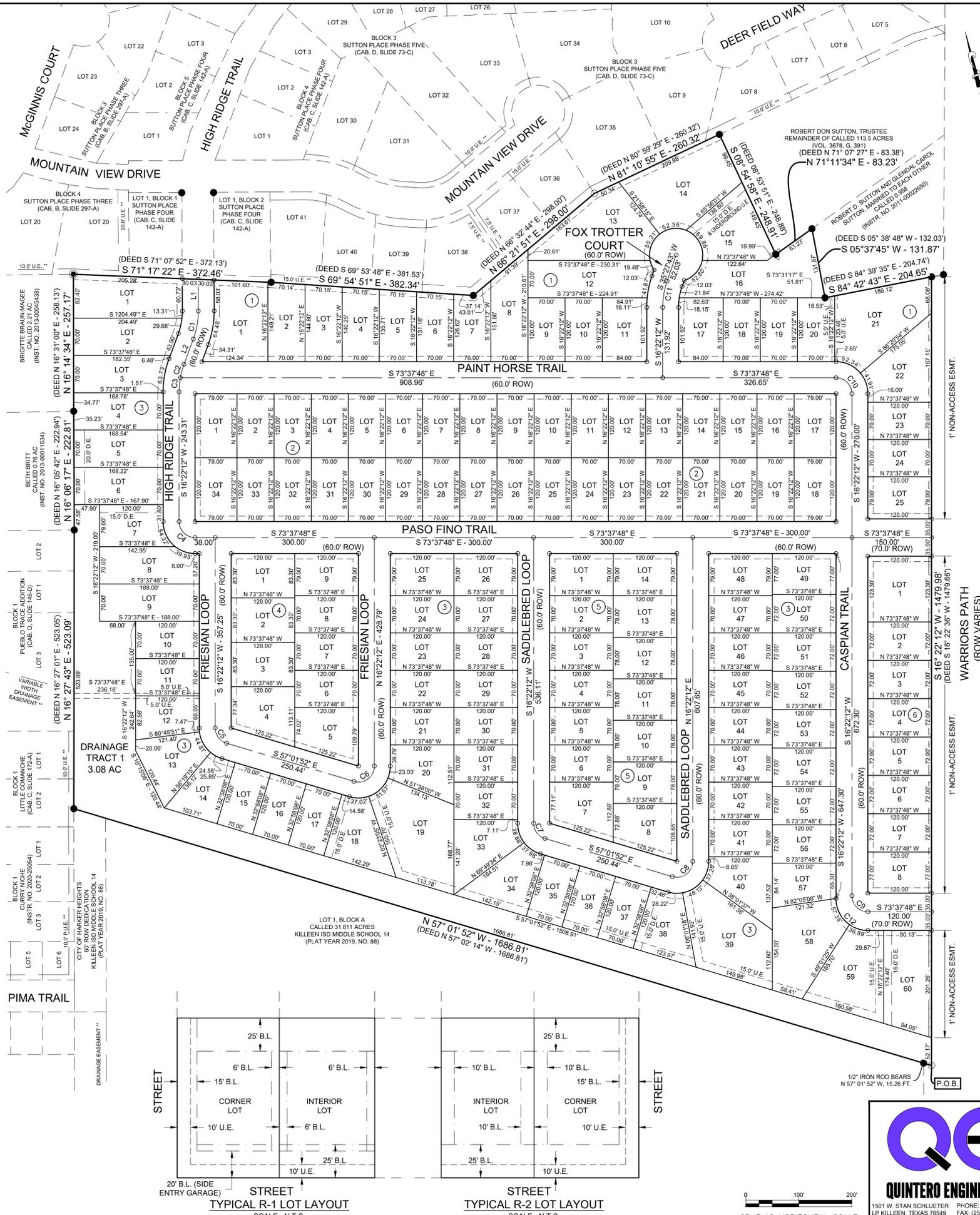
- PROPERTY BOUNDARY
- LOT LINES
- EASEMENT LINES
- DRAINAGE EASEMENT LINES
- ADJOINING TRACT PROPERTY LINES
- OFFSITE EASEMENTS
- 1/2" IRON ROD FOUND
- 1/2" IRON ROD SET W/ CAP
- STAMPED "QUINTERO 10194110"
- 1" IRON PIPE FOUND
- 60D NAIL FOUND

NOTES

1. THE BUILDING SETBACK LINES SHALL BE DETERMINED AS REQUIRED BY APPLICABLE ZONING SECTION OF THE CITY CODE OF ORDINANCE AS RELATED TO THIS DEVELOPMENT UNLESS SHOWN HEREON.
 2. THE BEARINGS AND DISTANCES SHOWN HEREON ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 83, PER LEICA SMART NET GPS OBSERVATION.
 3. THIS PROPERTY LIES WITHIN FEMA "ZONE X, OTHER AREAS" AS SHOWN ON THE FLOOD INSURANCE RATE MAP, FEMA MAP 48027C0285E AND 48027C0295E, WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 26, 2006.
- *FEMA "ZONE X, OTHER AREAS" IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN*
4. ALL UTILITY EASEMENTS SHALL BE 10.0' WIDE, UNLESS OTHERWISE NOTED.
 5. FINISHED FLOOR ELEVATIONS SHALL BE A MINIMUM OF 1 FOOT ABOVE THE AVERAGE TOP OF CURB ELEVATION FRONTING THE LOT.
 6. FOR EACH DWELLING UNIT, 2 OFF-STREET PARKING SPACES MUST BE PROVIDED.
 7. HOMES BUILT ON LOTS THAT FRONT TWO STREETS SHALL BE BUILT WITH THE FRONT OF THE HOUSE FACING THE STREET UPON WHICH THE LOT HAS SMALLER LINEAR FRONTAGE FOR THE EXCEPTION OF LOT 1, BLOCK 6, LOT 1, BLOCK 6 SHALL FRONT CASPIAN TRAIL.
 8. PERMANENT CORNERS, EXTERIOR OR INTERIOR, SHALL BE 1/2" IRON ROD WITH A CAP MARKED "QUINTERO 10194110" AFTER COMPLETED CONSTRUCTION AS AUTHORIZED BY THE DEVELOPER.
 9. NO ACCESS TO WARRIORS PATH SHALL BE ALLOWED FOR LOTS 1-8, BLOCK 6, LOT 60, BLOCK 3 AND LOTS 21-25, BLOCK 1.
 10. BUILDING SETBACKS SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED OR SHOWN HEREON.
- SINGLE FAMILY (R-1) LOTS:
ALL LOTS IN BLOCK 1, BLOCK 2, LOTS 1-48, BLOCK 3, ALL LOTS IN BLOCK 4, AND BLOCK 5.
- FRONT - 25' (20' FOR SIDE ENTRY GARAGES)
 - REAR - 20'
 - INTERIOR SIDE - 6'
 - STREET SIDE - 15'
- DUPLEX (R-2) LOTS:
LOTS 49 - 60, BLOCK 3 AND ALL LOTS IN BLOCK 6
- FRONT - 25'
 - REAR - 20'
 - INTERIOR SIDE - 10'
 - STREET SIDE - 15'



LOCATION MAP
SCALE: N.T.S.



KNOW ALL MEN BY THESE PRESENTS, THAT CACTUS JACK DEVELOPMENT, INC. BEING THE SOLE OWNER OF THAT CERTAIN 47.65 ACRE TRACT OF LAND IN THE CITY OF HARKER HEIGHTS, BELL COUNTY, TEXAS, SITUATED IN THE H.B. LITTLEFIELD SURVEY, ABSTRACT NO. 511, BEING ALL OF THE CALLED 47.626 ACRE TRACT OF LAND DESCRIBED IN A DEED TO CACTUS JACK DEVELOPMENT, INC., RECORDED IN INSTRUMENT NO. 2020-064289, DEED RECORDS OF BELL COUNTY, TEXAS, WHICH IS MORE FULLY DESCRIBED IN THE DEDICATION OF THE VILLAGE AT NOLAN HEIGHTS, AS SHOWN BY THE PLAT HEREOF, ATTACHED HERETO, AND MADE A PART HEREOF, AND APPROVED BY THE CITY OF HARKER HEIGHTS, BELL COUNTY, TEXAS AND THE VILLAGE AT NOLAN HEIGHTS, DOES HEREBY DEDICATE TO SAID CITY ALL STREETS, AVENUES, DRIVES, ALLEYS AND DRAINAGE TRACTS SHOWN ON SAID PLAT, THE SAME TO BE USED AS PUBLIC THOROUGHFARES AND FOR THE INSTALLATION AND MAINTENANCE OF PUBLIC UTILITIES WHEN AND AS AUTHORIZED BY THE CITY OF HARKER HEIGHTS.

THE DRAINAGE TRACTS, DRAINAGE AND UTILITY EASEMENTS SHOWN ON SAID PLAT ARE DEDICATED TO SAID CITY OF HARKER HEIGHTS FOR INSTALLATION AND MAINTENANCE OF ANY AND ALL PUBLIC UTILITIES, WHICH THE CITY MAY ELECT TO INSTALL AND MAINTAIN OR PERMIT TO BE INSTALLED OR MAINTAINED.

WITNESS THE EXECUTION HEREOF, ON THIS _____ DAY OF _____, 202__.

FOR: CACTUS JACK DEVELOPMENT, INC.

BY:
DUSTIN L. KING
PRESIDENT

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY, PERSONALLY APPEARED **DUSTIN L. KING** KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT. IT HAS BEEN ACKNOWLEDGED TO ME THAT HE EXECUTED THE FOREGOING INSTRUMENT AS THE OWNERS OF THE PROPERTY DESCRIBED HEREON.

NOTARY PUBLIC STATE OF TEXAS
MY COMMISSION EXPIRES: _____

PLANNING

APPROVED THIS _____ DAY OF _____, 20_____, A.D. BY THE DIRECTOR OF PLANNING AND DEVELOPMENT OF THE CITY OF HARKER HEIGHTS, BELL COUNTY, TEXAS.

DIRECTOR OF PLANNING AND DEVELOPMENT
PLANNING AND ZONING COMMISSION ATTEST: CITY SECRETARY

APPROVED THIS _____ DAY OF _____, 20_____, A.D. BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF HARKER HEIGHTS, TEXAS.

CHAIRPERSON, PLANNING AND ZONING COMMISSION SECRETARY, PLANNING AND ZONING COMMISSION

SURVEYORS' CERTIFICATE:

I, **BRADLEY W. SARGENT**, DO HEREBY CERTIFY THAT AN ACTUAL AND ACCURATE SURVEY WAS MADE ON THE GROUND OF THE PLATTED LAND, AND THAT THE CORNER MONUMENTS SHOWN ON THE FOREGOING PLAT WERE FOUND OR PLACED, IN ACCORDANCE WITH THE SUBDIVISION ORDINANCE OF THE CITY OF HARKER HEIGHTS, TEXAS.

Bradley W. Sargent
BRADLEY W. SARGENT
R.P.L.S. NO. 5827
1501 W. STAN SCHLUETER LP.
KILLEEN, TX 76549



SURVEY:	H.B. LITTLEFIELD SURVEY, ABSTRACT NO. 511	OWNER:	CACTUS JACK DEVELOPMENT, INC. 1629 S. FORT HOOD ST. KILLEEN, TEXAS 76542
NUMBER OF BLOCKS:	6	SURVEYOR:	QUINTERO ENGINEERING, LLC 1501 W. STAN SCHLUETER LP. KILLEEN, TEXAS 76549 (254) 493-9962
NUMBER OF LOTS:	150		
TOTAL ACREAGE:	47.65 AC		
DATE:	JANUARY 2021		

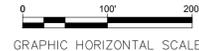
CENTER LINE					
NUMBER	BEARING OR CHORD DIRECTION	LENGTH OR ARC LENGTH	RADIUS	CHORD LENGTH	DELTA
C1	N26° 23' 40"E	53.73	150.00	53.44	020.52
C2	S31° 38' 13"W	26.28	150.00	26.25	010.04
C3	S21° 29' 37"W	26.83	150.00	26.79	010.25
C4	S28° 37' 48"E	47.12	30.00	42.43	090.00
C5	S20° 19' 50"E	38.43	30.00	35.86	073.40
C6	N69° 40' 10"E	55.82	30.00	48.11	106.60
C7	S20° 19' 50"E	38.43	30.00	35.86	073.40
C8	N69° 40' 10"E	55.82	30.00	48.11	106.60
C9	S28° 37' 48"E	47.12	30.00	42.43	090.00
C10	N28° 37' 48"W	47.12	30.00	42.43	090.00
C11	S25° 54' 57"W	49.98	150.00	49.75	019.09
C12	S28° 37' 48"E	94.25	60.00	84.85	090.00
L1	S16° 07' 58"W	59.38			
L2	S36° 39' 23"W	50.39			



**PRELIMINARY PLAT FOR:
THE VILLAGE AT NOLAN HEIGHTS
CITY OF HARKER HEIGHTS, BELL COUNTY, TEXAS**

THE VILLAGE AT NOLAN HEIGHTS, IS A PLAT OF ALL OF THE CALLED 47.626 ACRES SITUATED IN THE H.B. LITTLEFIELD SURVEY, ABSTRACT NO. 511, BEING CONVEYED TO CACTUS JACK DEVELOPMENT, INC. IN INSTRUMENT NO. 2020-064289, DEED RECORDS OF BELL COUNTY, TEXAS.

PROJECT NO.: **045-20**
DRAWING NO.: **P1**



ENGINEERING DRAWINGS FOR THE VILLAGE AT NOLAN HEIGHTS HARKER HEIGHTS, BELL COUNTY, TEXAS

20-010-001

OWNER:

CACTUS JACK DEVELOPMENT INC.
1629 S FORT HOOD ST.
KILLEEN, TX 76542

DEVELOPER:

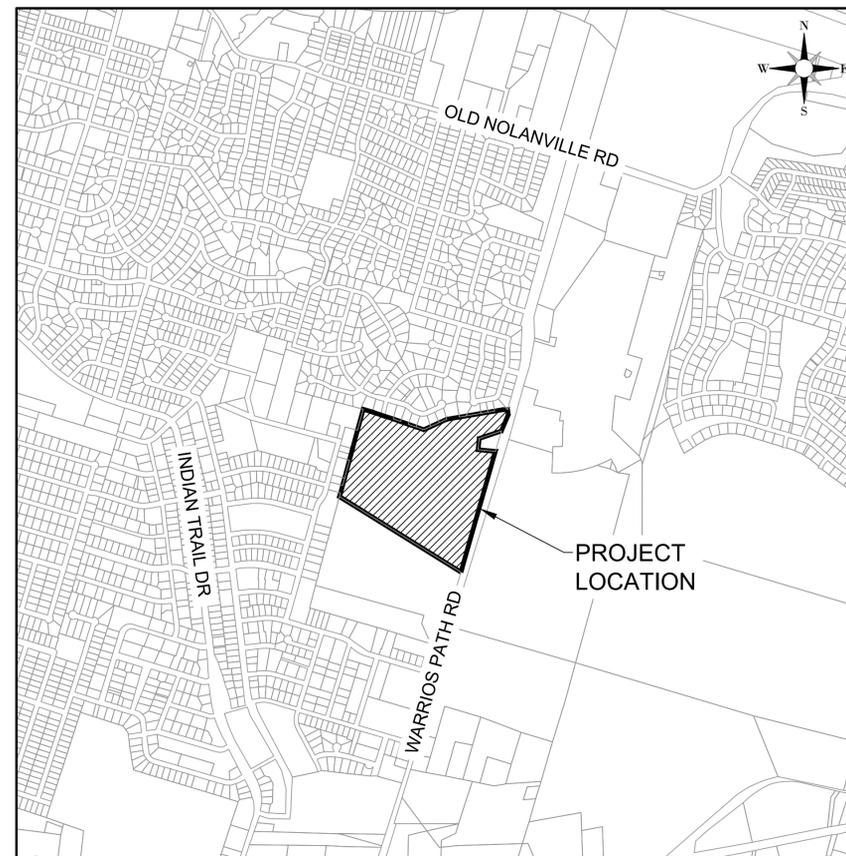
CACTUS JACK DEVELOPMENT INC.
1629 S FORT HOOD ST.
KILLEEN, TX 76542

SURVEYOR:

QUINTERO ENGINEERING, LLC
P.O. BOX 4386
KILLEEN, TX 76540

ENGINEER:

REPUBLIC ENGINEERING &
DEVELOPMENT SERVICES, LLC
P.O. BOX 3123
HARKER HEIGHTS, TX 76548



VICINITY MAP

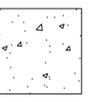


T.B.P.E.L.S. FIRM NO.: 21633

ENGINEERING DRAWINGS FOR THE VILLAGE AT NOLAN HEIGHTS

THIS DOCUMENT IS RELEASED FOR THE PURPOSE
OF REVIEW UNDER THE AUTHORITY OF JOSEPH
THERIOT, P.E. 120299 ON 4/12/2021. IT IS NOT TO BE
USED FOR CONSTRUCTION, BIDDING, OR PERMIT
PURPOSES.

LEGEND

WATERLINE	
SANITARY SEWER LINE	
PROPERTY LINE	
EASEMENT LINE	
WATER SERVICE - SINGLE	
WATER SERVICE - DOUBLE	
WATER SERVICE - QUAD	
SANITARY SEWER SERVICE - SINGLE	
SANITARY SEWER SERVICE - DOUBLE	
SANITARY SEWER MANHOLE	
FITTING	
GATE VALVE	
FIRE HYDRANT ASSEMBLY - PARALLEL	
CONCRETE	
PAVEMENT	
RIP-RAP	
VEGETATION	
ROCK	

ABBREVIATIONS

AE	ACCESS EASEMENT	S	SOUTH
BFE	BASE FLOOD ELEVATION	SF	SQUARE FOOT
B-B	BACK TO BACK	SQ	SQUARE
BL	BUILDING LINE	STA	STATION
BM	BENCHMARK	STD	STANDARD
BOC	BACK OF CURB	STRM	STORM
C-C	CENTER TO CENTER	SW	SIDEWALK
CFS	CUBIC FEET PER SECOND	SY	SQUARE YARD
CIP	CAST IN PLACE	TEL	TELEPHONE
CL	CENTERLINE	TEMP	TEMPORARY
CMP	CORRUGATED METAL PIPE	TB	TOP OF BANK
CO	CLEANOUT	TP	TOP OF PAVEMENT
CY	CUBIC YARD	TOB	TOP OF BOX
DA	DRAINAGE AREA	TOC	TOP OF CURB
DE	DRAINAGE EASEMENT	TYP	TYPICAL
DIA	DIAMETER	UE	UTILITY EASEMENT
DI	DUCTILE IRON	UTIL	UTILITY
DIP	DUCTILE IRON PIPE	V	VELOCITY
E	EAST	VC	VERTICAL CURVE
E-E	EDGE TO EDGE	W	WEST
EA	EACH	WL	WATERLINE
ELEC	ELECTRIC	W/	WITH
EL	ELEVATION	W/O	WITHOUT
ENGR	ENGINEER	WSEL	WATER SURFACE ELEVATION
EQ	EQUAL	WT	WEIGHT
ESMT	EASEMENT	WW	WASTEWATER
EOP	EDGE OF PAVEMENT		
EX	EXISTING		
F-F	FACE TO FACE		
FFE	FINISHED FLOOR ELEVATION		
FH	FIRE HYDRANT		
FL	FLOWLINE		
FM	FORCE MAIN		
FOC	FACE OF CURB		
FT	FEET		
GV	GATE VALVE		
HP	HIGH POINT		
HDPE	HIGH DENSITY POLYETHYLENE		
HGL	HYDRAULIC GRADE LINE		
HW	HEAD WATER		
HMAC	HOT MIXES ASPHALTIC CONCRETE		
ID	INSIDE DIAMETER		
IN	INCH		
INV	INVERT		
JB	JUNCTION BOX		
L	LENGTH		
LP	LOW POINT		
LF	LINEAR FEET		
LONG.	LONGITUDINAL		
LT	LEFT		
LTOC	LEFT TOP OF CURB		
MAX	MAXIMUM		
MH	MANHOLE		
MIN	MINIMUM		
MISC	MISCELLANEOUS		
N	NORTH		
NG	NATURAL GROUND		
NTS	NOT TO SCALE		
OC	ON CENTER		
OCEW	ON CENTER EACH WAY		
OD	OUTSIDE DIAMETER		
OHE	OVERHEAD ELECTRIC		
OPP	OPPOSITE		
PC	POINT OF CURVATURE		
PI	POINT OF INTERSECTION		
PL	PROPERTY LINE		
POB	POINT OF BEGINNING		
PP	POWER POLE		
PRC	POINT OF REVERSE CURVATURE		
PSI	POUNDS PER SQUARE INCH		
PT	POINT OF TANGENCY		
PUE	PUBLIC UTILITY EASEMENT		
PVC	POLYVINYL CHLORIDE OR POINT OF VERTICAL CURVATURE		
PVI	POINT OF VERTICAL INFLECTION		
PVMT	PAVEMENT		
PVT	POINT OF VERTICAL TANGENCY		
PCC	POINT OF COMPOUND CURVATURE		
Q	FLOW RATE		
R	RADIUS		
ROW	RIGHT OF WAY		
RCP	REINFORCED CONCRETE PIPE		
REQD	REQUIRED		
RT	RIGHT		
RTOC	RIGHT TOP OF CURB		

GENERAL NOTES

- ALL MATERIALS, CONSTRUCTION, AND TESTING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL GOVERNING ENTITY OR ENTITIES.
- CONTRACTOR TO OBTAIN ALL DEVELOPMENT AND CONSTRUCTION PERMITS REQUIRED BY THE LOCAL GOVERNING ENTITY, OR ENTITIES, AT THEIR EXPENSE PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR SHALL GIVE NOTICE TO ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS, OR PERSONS IN CHARGE OF PRIVATE AND PUBLIC UTILITIES OR RAILROADS AFFECTED BY THEIR OPERATIONS 48 HOURS PRIOR TO COMMENCEMENT OF WORK IN STREET RIGHT-OF-WAYS OR EASEMENTS.
- CONTRACTOR SHALL GIVE NOTICE TO THE LOCAL GOVERNING ENTITY, OR ENTITIES, DEPARTMENT OF PUBLIC WORKS AND ENGINEERING 48 HOURS PRIOR TO COMMENCEMENT OF WORK IN STREET RIGHT-OF-WAYS OR EASEMENTS.
- ALL EXISTING UNDERGROUND UTILITIES ARE NOT GUARANTEED TO BE COMPLETED OR DEFINITE, BUT WERE OBTAINED FROM THE BEST INFORMATION REASONABLY AVAILABLE. CONTRACTOR HAS SOLE RESPONSIBILITY FOR FIELD VERIFICATION OF ALL EXISTING FACILITIES SHOWN ON DRAWINGS. CONTRACTOR SHALL COORDINATE ALL CONFLICTS WITH THE APPROPRIATE GOVERNING AGENCY.
- THE LOCATION OF ALL UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL REQUEST THE EXACT LOCATION OF THESE FACILITIES BY CALLING THE UTILITY COMPANIES, AT LEAST 48 HOURS BEFORE COMMENCING WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE WHICH OCCURS DUE TO HIS FAILURE TO REQUEST THE LOCATION AND PRESERVATION OF CONSTRUCTION OF THE UNDERGROUND FACILITIES. ANY DAMAGE TO EXISTING FACILITIES INCURRED AS A RESULT OF CONSTRUCTION OPERATIONS WILL BE REPAIRED BY THE CONTRACTOR AT HIS OWN EXPENSE.
- TEXAS LAW ARTICLE 1436c, PROHIBITS ALL ACTIVITIES IN WHICH PERSONS OR EQUIPMENT MAY COME WITHIN 6 FEET OF ENERGIZED OVERHEAD POWER LINES, AND FEDERAL REGULATION, TITLE 29, PART 1910.130(1) AND PART 1926.440 (A) (15) REQUIRE A MINIMUM CLEARANCE OF 10 FEET FROM THESE FACILITIES. THE ABOVE LAWS CARRY BOTH CRIMINAL AND CIVIL LIABILITIES, WITH CONTRACTORS AND OWNERS BEING LEGALLY RESPONSIBLE FOR THE SAFETY OF WORKERS UNDER THESE LAWS. IF YOU OR YOUR COMPANY MUST WORK NEAR ENERGIZED OVERHEAD POWER LINES, CALL THE POWER COMPANY FOR THE LINES TO BE DE-ENERGIZED AND/OR MOVED AT YOUR EXPENSE.
- CONSTRUCTION SHALL COMPLY WITH THE LATEST REVISIONS OF OSHA REGULATIONS AND STATE OF TEXAS LAW CONCERNING TRENCHING AND SHORING. CONTRACTOR SHALL PROVIDE A TRENCH SAFETY SYSTEM TO MEET, AS A MINIMUM, THE REQUIREMENTS OF OSHA SAFETY AND HEALTH REGULATION, PART 1926, SUB-PART P AS PUBLISHED IN THE FEDERAL REGISTER, VOLUME 54, NO. 209, DATED OCTOBER 31, 1989 AND LATEST REVISIONS. COST FOR ANY TRENCH SAFETY SYSTEM THAT REQUIRE AN ENGINEER'S SEAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE PERFORMED AT NO ADDITIONAL COST TO THE PROJECT.
- DETAILS WITHIN PLAN SET DO NOT EXTEND TO OR INCLUDE DESIGNS OR SYSTEMS PERTAINING TO THE SAFETY OF THE CONTRACTOR OR ITS EMPLOYEES, AGENTS, OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS, INCLUDING THE PLANS AND SPECIFICATIONS REQUIRED BY CHAPTER 756, SUBCHAPTER "C" OF THE TEXAS HEALTH AND SAFETY CODE.
- CONTRACTOR SHALL COVER OPEN EXCAVATIONS WITH ANCHORED STEEL PLATES DURING NON-WORKING HOURS, ALONG EXISTING ROADWAYS AND TRAFFIC AREAS.
- ADEQUATE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION AND ANY DRAINAGE DITCH OR STRUCTURE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THE SATISFACTION OF THE GOVERNING AGENCY'S ENGINEER. ALL CONSTRUCTION RUNOFF SHALL COMPLY WITH STORM WATER MANAGEMENT FOR CONSTRUCTION ACTIVITIES AND THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE FLAGMEN, SIGNING, STRIPING AND WARNING DEVICES, ETC., DURING CONSTRUCTION IN ACCORDANCE WITH THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- EXISTING PAVEMENTS, CURBS, SIDEWALKS AND DRIVEWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE REPLACED TO LOCAL STANDARDS. ALL ASPHALT AND CONCRETE DRIVEWAYS EXCAVATED DURING CONSTRUCTION SHALL BE BACKFILLED WITH STABILIZED MATERIAL AND RETURNED TO EXISTING CONDITIONS. ALL STATE AND COUNTY HIGHWAY PAVEMENT AND RAILROAD RIGHT-OF-WAYS TO BE BORED ACCORDING TO THE RULES, REGULATIONS, AND REQUIREMENTS FOR APPROVAL AND ACCEPTANCE BY SAID AGENCIES.
- EXISTING ROADS AND/OR RIGHT-OF-WAYS DISTURBED DURING CONSTRUCTION SHALL BE AS GOOD OR BETTER THAN THE CONDITION PRIOR TO STARTING THE WORK, UPON COMPLETION OF THE PROJECT.
- INCLUDE PRICE OF ALL BEDDING AND BACKFILL OF TYPE REQUIRED IN PRICE BID PER LINEAR FOOT OF PIPE.
- CONTRACTOR TO REMOVE EXISTING PLUGS AND CONNECT TO EXISTING UTILITY LINES AS INDICATED ON PLANS
- UNLESS OTHERWISE NOTED ON PLANS, WHERE MANHOLES ARE LOCATED WITHIN UTILITY EASEMENTS, THE CONTRACTOR SHALL SET RIM ELEVATIONS TWO INCHES ABOVE FINISHED GROUND ELEVATIONS.
- REVISIONS TO THESE ENGINEERING PLANS MUST BE AUTHORIZED BY REPUBLIC ENGINEERING & DEVELOPMENT SERVICES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY REPUBLIC ENGINEERING & DEVELOPMENT SERVICES AND LOCAL GOVERNING AGENCIES A MINIMUM OF 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
- THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE UTILITY COMPANIES A MINIMUM OF 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
- THE CONTRACTOR SHALL NOTIFY REPUBLIC ENGINEERING & DEVELOPMENT SERVICES AND LOCAL GOVERNING AGENCIES OF ALL DESIRED FIELD CHANGES. THE ENGINEER'S APPROVAL MAY BE REQUIRED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SECURITY AND SAFETY PROVISIONS REQUIRED TO PROTECT INDIVIDUALS, EQUIPMENT, MATERIALS, AND WORKMANSHIP NECESSARY FOR THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STORAGE OF MATERIALS IN SAFE AND WORKMANLIKE MANNER TO PREVENT INJURIES DURING AND AFTER WORKING HOURS UNTIL THE PROJECT IS COMPLETE.
- ACCURATE RECORDS SHOWING THE INSTALLED LOCATIONS OF ALL IMPROVEMENTS SHALL BE MAINTAINED DURING CONSTRUCTION AND PROVIDED TO THE ENGINEER AS PART OF THE PROJECT COMPLETION.
- THE CONTRACTOR SHALL PROTECT EXISTING MONUMENTS, YARDS, PRIVATE UTILITIES, DRIVES, CURBS, MAIL BOXES, SIGNS, IMPROVEMENTS, CULVERTS, AND ALL OTHER OWNER'S FACILITIES FROM DAMAGE DURING CONSTRUCTION. DAMAGE DONE TO THESE ITEMS SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL MOVE AND REPLACE SUCH MOVABLE ITEMS AS MAIL BOXES, TRAFFIC CONTROL, BUSINESS SIGNS, AND STREET SIGNS AS NECESSARY FOR CONSTRUCTION. FENCES OR STRUCTURES WHICH REQUIRE DISMANTLING OR REMOVAL SHALL BE RECONSTRUCTED OR REPLACED TO EQUAL OR BETTER THAN ORIGINAL CONDITION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING THE MUD AND/OR DIRT DEPOSITED ON EXISTING PAVEMENT DUE TO HIS CONSTRUCTION ACTIVITY DAILY. ALL EQUIPMENT AND DEBRIS FROM CONSTRUCTION TO BE REMOVED FROM THE SITE AT END OF PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND PROTECTION OF CONSTRUCTION ACTIVITIES DURING THE CONTRACT PERIOD. THIS SHALL INCLUDE AND EROSION CONTROL MEASURES AND RE-GRADING NECESSARY TO ACHIEVE THE LINES AND GRADES SET FORTH BY THESE PLANS.
- SIGNING, BARRICADING, AND LIGHTING FOR CONSTRUCTION WITHIN RIGHT-OF-WAYS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND OTHER APPLICABLE STATE OR LOCAL STANDARDS. SIGNS, BARRICADES AND LIGHTS SHALL BE KEPT CLEAN, OPERATIONAL, AND PROPERLY POSITIONED TO ASSURE PROPER SAFETY PRECAUTIONS.
- ALL TESTING PROCEDURES USED ON THIS PROJECT SHALL CONFORM TO THE TCEQ, AWWA, NSF, OR OTHER APPLICABLE STANDARDS. THE TESTING EXPENSE SHALL BE BORNE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED.
- THE CONTRACTOR SHALL UNCOVER EXISTING UTILITIES AT ALL "POINTS OF CROSSING" TO DETERMINE IF CONFLICTS EXIST BEFORE COMMENCING ANY CONSTRUCTION. NOTIFY THE ENGINEER AT ONCE OF ANY CONFLICTS.
- THE LATEST TCEQ REGULATIONS MUST BE FOLLOWED FOR CROSSINGS OF SANITARY SEWER MAINS AND WATER MAINS. IT IS THE INTENT THAT THE MOST ECONOMICALLY ACCEPTABLE ALTERNATIVE BE ELECTED. ACCORDINGLY, FIELD VERIFICATION OF EXISTING UTILITY GRADES IS IMPERATIVE.
- FINAL COVER OF INSTALLED LINES SHALL NOT BEGIN PRIOR TO OBSERVATION AND ACCEPTANCE BY THE OWNER OR ENGINEER. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER IN ADVANCE REGARDING THE SCHEDULING OF THESE MONITORING VISITS.
- CONNECTIONS TO EXISTING LINES SHALL INCLUDE ALL REQUIRED FITTINGS AND MATERIAL REQUIRED TO MAKE A SUCCESSFUL TIE IN MEETING ALL APPLICABLE STANDARDS.
- CONTRACTOR SHALL PLUG ENDS OF SANITARY SEWER LINES DURING BREAKS IN CONSTRUCTION TO PREVENT THE TRANSPORT OF DEBRIS INTO THE EXISTING SANITARY SEWER SYSTEM.
- THE LOADING AND UNLOADING OF ALL MATERIALS AND EQUIPMENT SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED PRACTICES AND SHALL AT ALL TIMES BE PERFORMED WITH CARE TO AVOID ANY DAMAGE TO THE MATERIAL. THE CONTRACTOR SHALL LOCATE AND PROVIDE THE NECESSARY STORAGE AREAS FOR MATERIALS AND EQUIPMENT.
- ALL MATERIALS AND EQUIPMENT SHALL BE BOTH FURNISHED AND INSTALLED UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS, AND CONFIRM POINTS OF CONNECTIONS TO EXISTING IMPROVEMENTS, INCLUDING CONFIRMATION OF ELEVATIONS AND GRADES OF EXISTING FACILITIES AND UTILITIES PRIOR TO STARTING ANY GRADING, PAVING, OR UTILITY INSTALLATION. VERIFICATION OF LOCATIONS AND FUNCTIONS OF EACH EXISTING STRUCTURE OR SYSTEM AND ALL EXISTING UTILITY GRADES AND INVERT ELEVATIONS IS THE CONTRACTOR'S RESPONSIBILITY. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY. ANY CONFLICTS OR ERRORS BETWEEN EXISTING FIELD CONDITIONS AND ENGINEERING PLANS MUST BE RESOLVED PRIOR TO STARTING EXCAVATION OR SETTING ANY GRAVITY SEWER (STORM AND SANITARY) AND APPURTENANCES.
- ALL UNSATISFACTORY AND/OR WASTE MATERIALS INCLUDING VEGETATION, ROOTS, CONCRETE, AND DEBRIS SHALL BE HAULED OFF-SITE BY THE CONTRACTOR. INCLUDE COST OF THIS WORK, INCLUDING HAUL, IN OTHER ITEMS OF THIS PROJECT.
- CONTRACTOR SHALL CONFINE ALL WORK EFFORTS WITHIN THE DESIGNATED RIGHT-OF-WAY OR EASEMENTS UNLESS SPECIFICALLY AUTHORIZED BY THE OWNER.
- ALL ROAD WIDTHS, CURB RADII, AND CURB ALIGNMENTS SHOWN INDICATE BACK OF CURB. ALL CURB ELEVATIONS PROVIDED ARE TO "TOP OF CURB" UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL KEEP EXISTING WATER MAIN AND PRIVATE SERVICE LINES IN SERVICE WHILE CONSTRUCTING PROPOSED WATER SYSTEM. CONTRACTOR SHALL CONSTRUCT AS MUCH PROPOSED WATERLINE AS POSSIBLE PRIOR TO TYING INTO EXISTING MAINS AND RECONNECTING SERVICES. CONTRACTOR SHALL COORDINATE SHUT-DOWNS, TIE-INS, AND TESTING OF THE WATER MAIN WITH THE GOVERNING AUTHORITY.
- PRIOR TO FINAL ACCEPTANCE, ALL DRAINAGE STRUCTURES AND EXTENSIONS SHALL BE CLEANED BY THE CONTRACTOR.

1	ORIGINAL RELEASE	3/31/2021
REV	DESCRIPTION	DATE



THE VILLAGE AT NOLAN HEIGHTS

GENERAL NOTES

SIGNATURE	DATE
DESIGN	JAT
DRAFTED	JAT
CHECKED	JAT
PROJECT #	20-010-001
DRAWING #	1

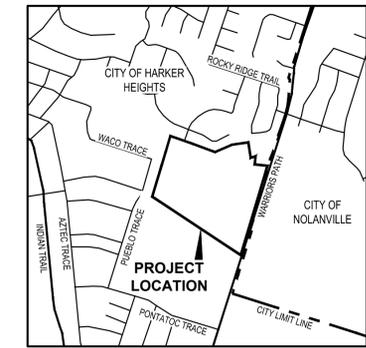
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LEGEND

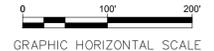
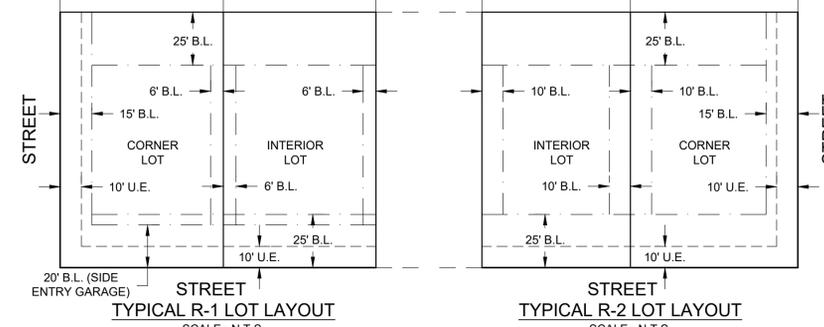
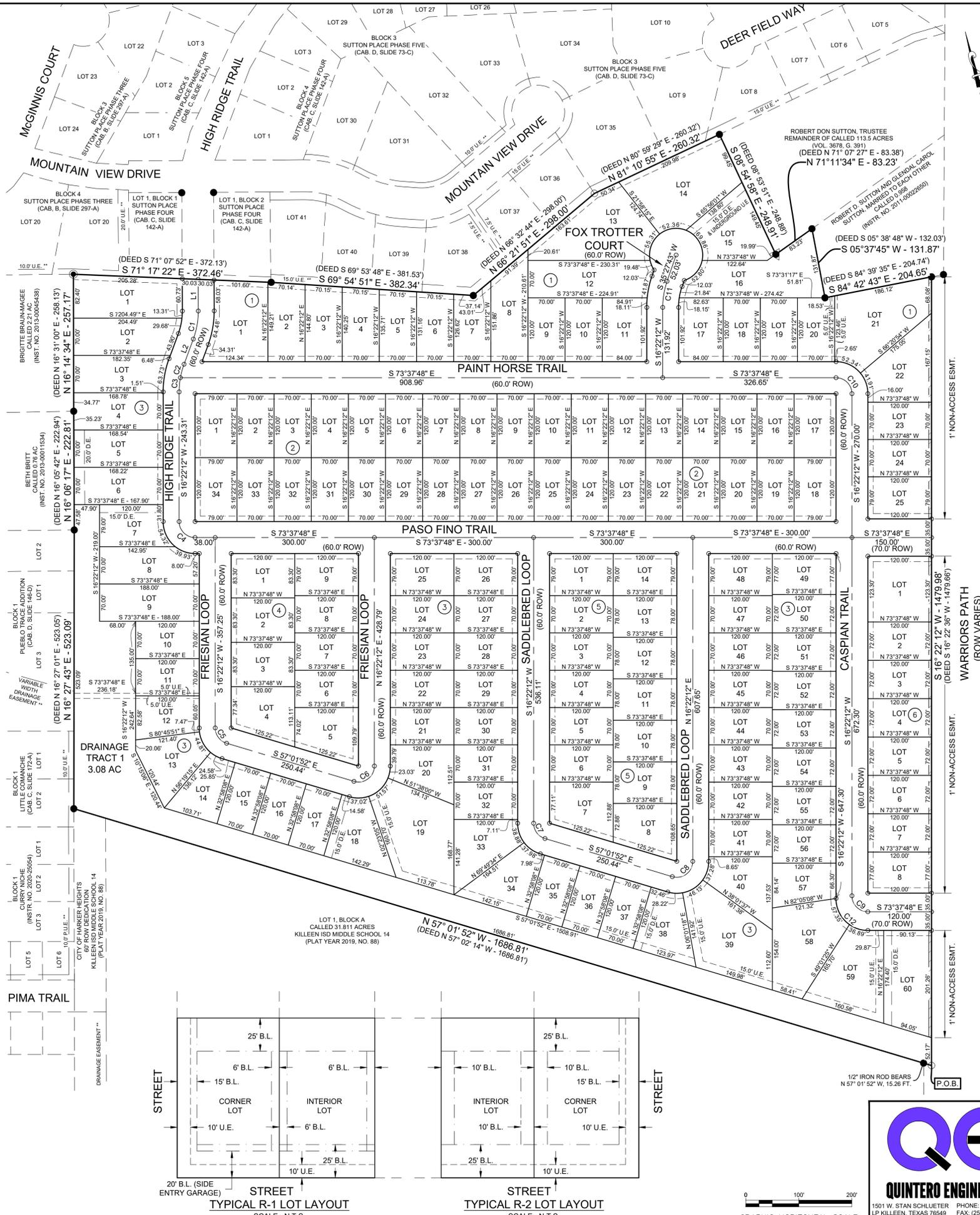
- PROPERTY BOUNDARY
- LOT LINES
- EASEMENT LINES
- DRAINAGE EASEMENT LINES
- ADJOINING TRACT PROPERTY LINES
- OFFSITE EASEMENTS
- 1/2" IRON ROD FOUND
- 1/2" IRON ROD SET W/ CAP
- STAMPED "QUINTERO 10194110"
- 1" IRON PIPE FOUND
- 60D NAIL FOUND

NOTES

1. THE BUILDING SETBACK LINES SHALL BE DETERMINED AS REQUIRED BY APPLICABLE ZONING SECTION OF THE CITY CODE OF ORDINANCE AS RELATED TO THIS DEVELOPMENT UNLESS SHOWN HEREON.
 2. THE BEARINGS AND DISTANCES SHOWN HEREON ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 83, PER LEICA SMART NET GPS OBSERVATION.
 3. THIS PROPERTY LIES WITHIN FEMA "ZONE X, OTHER AREAS" AS SHOWN ON THE FLOOD INSURANCE RATE MAP, FEMA MAP 48027C0285E AND 48027C0295E, WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 26, 2006.
 FEMA "ZONE X, OTHER AREAS" IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN
 4. ALL UTILITY EASEMENTS SHALL BE 10.0' WIDE, UNLESS OTHERWISE NOTED.
 5. FINISHED FLOOR ELEVATIONS SHALL BE A MINIMUM OF 1 FOOT ABOVE THE AVERAGE TOP OF CURB ELEVATION FRONTING THE LOT.
 6. FOR EACH DWELLING UNIT, 2 OFF-STREET PARKING SPACES MUST BE PROVIDED.
 7. HOMES BUILT ON LOTS THAT FRONT TWO STREETS SHALL BE BUILT WITH THE FRONT OF THE HOUSE FACING THE STREET UPON WHICH THE LOT HAS SMALLER LINEAR FRONTAGE FOR THE EXCEPTION OF LOT 1, BLOCK 6, LOT 1, BLOCK 6 SHALL FRONT CASPIAN TRAIL.
 8. PERMANENT CORNERS, EXTERIOR OR INTERIOR, SHALL BE 1/2" IRON ROD WITH A CAP MARKED "QUINTERO 10194110" AFTER COMPLETED CONSTRUCTION AS AUTHORIZED BY THE DEVELOPER.
 9. NO ACCESS TO WARRIORS PATH SHALL BE ALLOWED FOR LOTS 1-8, BLOCK 6, LOT 60, BLOCK 3 AND LOTS 21-25, BLOCK 1.
 10. BUILDING SETBACKS SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED OR SHOWN HEREON.
- SINGLE FAMILY (R-1) LOTS:
 ALL LOTS IN BLOCK 1, BLOCK 2, LOTS 1-48, BLOCK 3, ALL LOTS IN BLOCK 4, AND BLOCK 5.
- FRONT - 25' (20' FOR SIDE ENTRY GARAGES)
 - REAR - 20'
 - INTERIOR SIDE - 6'
 - STREET SIDE - 15'
- DUPLEX (R-2) LOTS:
 LOTS 49 - 60, BLOCK 3 AND ALL LOTS IN BLOCK 6
- FRONT - 25'
 - REAR - 20'
 - INTERIOR SIDE - 10'
 - STREET SIDE - 15'



LOCATION MAP
SCALE: N.T.S.



KNOW ALL MEN BY THESE PRESENTS, THAT CACTUS JACK DEVELOPMENT, INC. BEING THE SOLE OWNER OF THAT CERTAIN 47.65 ACRE TRACT OF LAND IN THE CITY OF HARKER HEIGHTS, BELL COUNTY, TEXAS, SITUATED IN THE H.B. LITTLEFIELD SURVEY, ABSTRACT NO. 511, BEING ALL OF THE CALLED 47.626 ACRE TRACT OF LAND DESCRIBED IN A DEED TO CACTUS JACK DEVELOPMENT, INC., RECORDED IN INSTRUMENT NO. 2020-064289, DEED RECORDS OF BELL COUNTY, TEXAS, WHICH IS MORE FULLY DESCRIBED IN THE DEDICATION OF THE VILLAGE AT NOLAN HEIGHTS, AS SHOWN BY THE PLAT HEREOF, ATTACHED HERETO, AND MADE A PART HEREOF, AND APPROVED BY THE CITY OF HARKER HEIGHTS, BELL COUNTY, TEXAS AND THE VILLAGE AT NOLAN HEIGHTS, DOES HEREBY DEDICATE TO SAID CITY ALL STREETS, AVENUES, DRIVES, ALLEYS AND DRAINAGE TRACTS SHOWN ON SAID PLAT, THE SAME TO BE USED AS PUBLIC THOROUGHFARES AND FOR THE INSTALLATION AND MAINTENANCE OF PUBLIC UTILITIES WHEN AND AS AUTHORIZED BY THE CITY OF HARKER HEIGHTS.

THE DRAINAGE TRACTS, DRAINAGE AND UTILITY EASEMENTS SHOWN ON SAID PLAT ARE DEDICATED TO SAID CITY OF HARKER HEIGHTS FOR INSTALLATION AND MAINTENANCE OF ANY AND ALL PUBLIC UTILITIES, WHICH THE CITY MAY ELECT TO INSTALL AND MAINTAIN OR PERMIT TO BE INSTALLED OR MAINTAINED.

WITNESS THE EXECUTION HEREOF, ON THIS _____ DAY OF _____, 202__.

FOR: CACTUS JACK DEVELOPMENT, INC.

BY:
DUSTIN L. KING
PRESIDENT

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY, PERSONALLY APPEARED DUSTIN L. KING KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT. IT HAS BEEN ACKNOWLEDGED TO ME THAT HE EXECUTED THE FOREGOING INSTRUMENT AS THE OWNERS OF THE PROPERTY DESCRIBED HEREON.

NOTARY PUBLIC STATE OF TEXAS
MY COMMISSION EXPIRES: _____

PLANNING

APPROVED THIS _____ DAY OF _____, 20____, A.D. BY THE DIRECTOR OF PLANNING AND DEVELOPMENT OF THE CITY OF HARKER HEIGHTS, BELL COUNTY, TEXAS.

DIRECTOR OF PLANNING AND DEVELOPMENT
PLANNING AND ZONING COMMISSION
ATTEST: CITY SECRETARY

APPROVED THIS _____ DAY OF _____, 20____, A.D. BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF HARKER HEIGHTS, TEXAS.

CHAIRPERSON, PLANNING AND ZONING COMMISSION
SECRETARY, PLANNING AND ZONING COMMISSION

SURVEYORS' CERTIFICATE:

I, BRADLEY W. SARGENT, DO HEREBY CERTIFY THAT AN ACTUAL AND ACCURATE SURVEY WAS MADE ON THE GROUND OF THE PLATTED LAND, AND THAT THE CORNER MONUMENTS SHOWN ON THE FOREGOING PLAT WERE FOUND OR PLACED, IN ACCORDANCE WITH THE SUBDIVISION ORDINANCE OF THE CITY OF HARKER HEIGHTS, TEXAS.

BRADLEY W. SARGENT
R. P. L. S. NO. 5827
1501 W. STAN SCHLUETER LP.
KILLEEN, TX 76549



SURVEY:	H.B. LITTLEFIELD SURVEY, ABSTRACT NO. 511	OWNER:	CACTUS JACK DEVELOPMENT, INC. 1629 S. FORT HOOD ST. KILLEEN, TEXAS 76542
NUMBER OF BLOCKS:	6	SURVEYOR:	QUINTERO ENGINEERING, LLC 1501 W. STAN SCHLUETER LP. KILLEEN, TEXAS 76549 (254) 493-9962
NUMBER OF LOTS:	150		
TOTAL ACREAGE:	47.65 AC		
DATE:	JANUARY 2021		

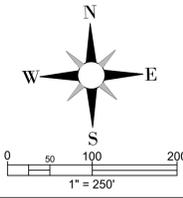
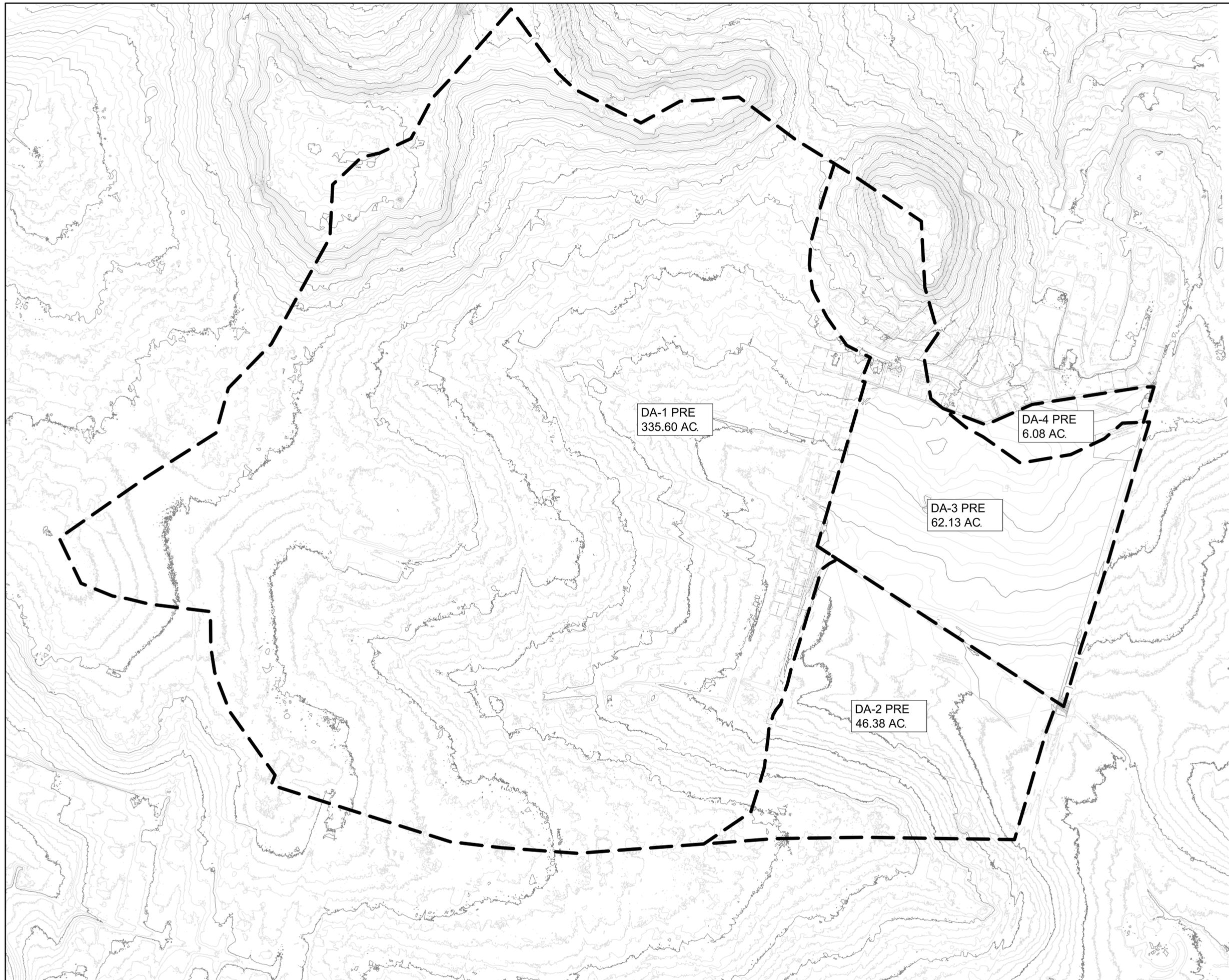
CENTER LINE					
NUMBER	BEARING OR CHORD DIRECTION	LENGTH OR ARC LENGTH	RADIUS	CHORD LENGTH	DELTA
C1	N26° 23' 40"E	53.73	150.00	53.44	020.52
C2	S31° 38' 13"W	26.28	150.00	26.25	010.04
C3	S21° 29' 37"W	26.83	150.00	26.79	010.25
C4	S28° 37' 48"E	47.12	30.00	42.43	090.00
C5	S20° 19' 50"E	38.43	30.00	35.86	073.40
C6	N69° 40' 10"E	55.82	30.00	48.11	106.60
C7	S20° 19' 50"E	38.43	30.00	35.86	073.40
C8	N69° 40' 10"E	55.82	30.00	48.11	106.60
C9	S28° 37' 48"E	47.12	30.00	42.43	090.00
C10	N28° 37' 48"W	47.12	30.00	42.43	090.00
C11	S25° 54' 57"W	49.98	150.00	49.75	019.09
C12	S28° 37' 48"E	94.25	60.00	84.85	090.00
L1	S16° 07' 58"W	59.38			
L2	S36° 39' 23"W	50.39			

1501 W. STAN SCHLUETER
LP KILLEEN, TEXAS 76549
T.B.P.E. FIRM NO.: 14709 T.B.P.L.S. FIRM NO.: 10194110

**PRELIMINARY PLAT FOR:
THE VILLAGE AT NOLAN HEIGHTS
CITY OF HARKER HEIGHTS, BELL COUNTY, TEXAS**

THE VILLAGE AT NOLAN HEIGHTS,
IS A PLAT OF ALL OF THE CALLED 47.626 ACRES SITUATED IN THE H.B. LITTLEFIELD SURVEY, ABSTRACT NO. 511, BEING CONVEYED TO CACTUS JACK DEVELOPMENT, INC. IN INSTRUMENT NO. 2020-064289, DEED RECORDS OF BELL COUNTY, TEXAS.

PROJECT NO.:
045-20
DRAWING NO.:
P1



- NOTES:**
- SEE PRELIMINARY DRAINAGE REPORT, DATED 3/29/2021, FOR DETAILED DRAINAGE ANALYSIS.
 - ALL UPSTREAM FLOWS SHALL BE ACCEPTED ONSITE AS THEY CURRENTLY EXIST AND SHALL NOT BE OBSTRUCTED, UNLESS OTHERWISE NOTED IN THIS PLAN SET.
 - ENERGY DISSIPATION SHALL BE PROVIDED AT EACH OUTFALL BY THE USE OF ROCK RIPRAP OR CONCRETE RIPRAP WITH FORMED CONCRETE DISSIPATORS.
 - ALL LOTS MUST HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURE.
 - THE DRAINAGE DESIGN PROVIDED HEREIN ILLUSTRATES OUR FINAL DESIGN INTENT FOR THE PROPOSED HYDROLOGIC AND HYDRAULIC METHODOLOGIES, PLANNING AND DESIGN ASSUMPTIONS USED TO ADDRESS THE APPLICABLE UNDERLYING DRAINAGE FACILITY PRINCIPLES AS SPECIFIED IN THE CITY OF HARKER HEIGHTS DRAINAGE CRITERIA MANUAL, DATED MAY 9, 2007.
 - THIS PROPERTY LIES WITHIN FEMA "ZONE X" AS SHOWN ON THE FLOOD INSURANCE RATE MAPS, FEMA MAP 48027C0285E & 48027C0295E WHICH BEARS AN EFFECTIVE DATE OF NOVEMBER 26, 2008.

DA-1 PRE
335.60 AC.

DA-4 PRE
6.08 AC.

DA-3 PRE
62.13 AC.

DA-2 PRE
46.38 AC.

LEGEND

DA-XX X.XX AC.	DRAINAGE AREA I.D. DRAINAGE AREA ACERAGE
---	DRAINAGE AREA BOUNDARY

REV	DESCRIPTION	DATE
1	ORIGINAL RELEASE	3/31/2021



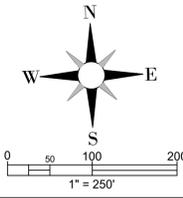
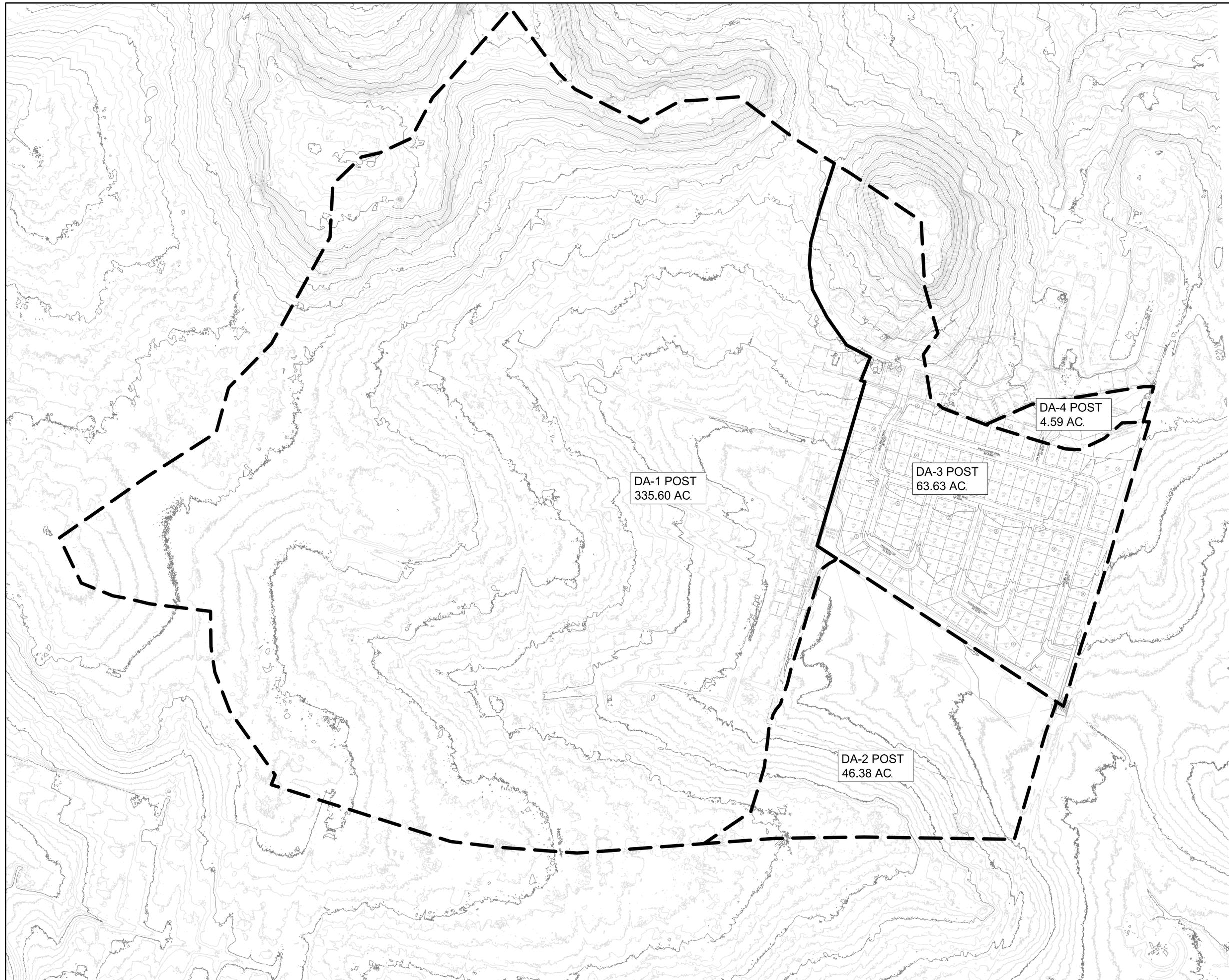
**THE VILLAGE AT
NOLAN HEIGHTS**

DRAINAGE PRE

SIGNATURE

DATE

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF REVIEW UNDER THE AUTHORITY OF JOSEPH THERIOT, P.E. 120299 ON 4/12/2021. IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES.	PM	JAT
	DESIGN	JAT
	DRAWN	JAT
	CHECKED	JAT
PROJECT #	20-010-001	
DRAWING #	3	



- NOTES:**
1. SEE PRELIMINARY DRAINAGE REPORT, DATED 3/29/2021, FOR DETAILED DRAINAGE ANALYSIS.
 2. ALL UPSTREAM FLOWS SHALL BE ACCEPTED ONSITE AS THEY CURRENTLY EXIST AND SHALL NOT BE OBSTRUCTED, UNLESS OTHERWISE NOTED IN THIS PLAN SET.
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 6. THIS PROPERTY LIES WITHIN FEMA "ZONE X" AS SHOWN ON THE FLOOD INSURANCE RATE MAPS, FEMA MAP 48027C0285E & 48027C0295E WHICH BEARS AN EFFECTIVE DATE OF NOVEMBER 26, 2008.

LEGEND

DA-XX X.XX AC.	DRAINAGE AREA I.D. DRAINAGE AREA ACERAGE
	DRAINAGE AREA BOUNDARY

REV	DESCRIPTION	DATE
1	ORIGINAL RELEASE	3/31/2021

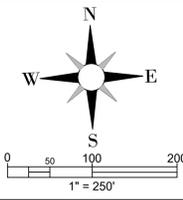
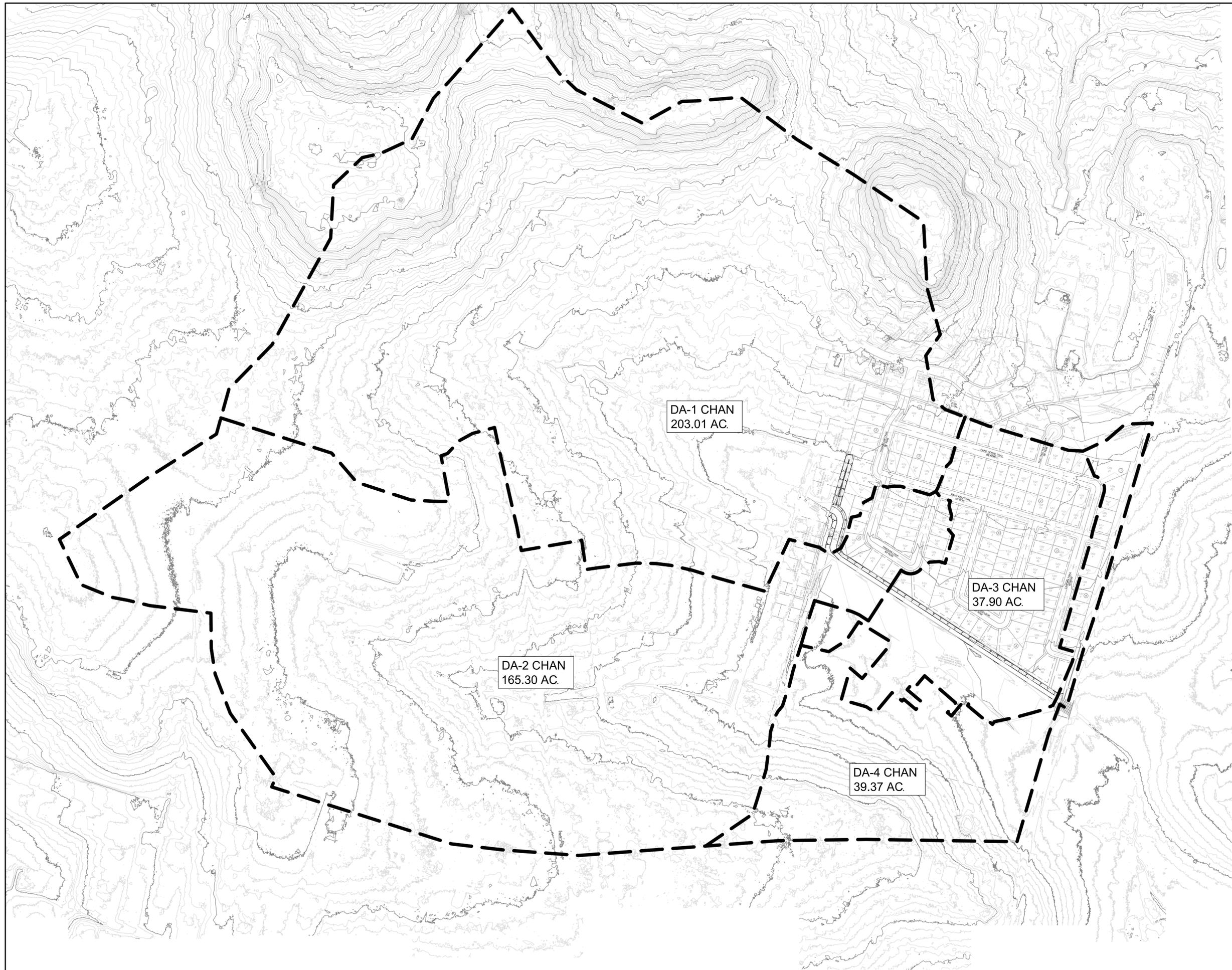


**THE VILLAGE AT
NOLAN HEIGHTS**

DRAINAGE POST

SIGNATURE _____ DATE _____

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	DRAFTED	JAT
	CHECKED	JAT
	PROJECT #	20-010-001
DRAWING #		4



- NOTES:**
1. SEE PRELIMINARY DRAINAGE REPORT, DATED 3/29/2021, FOR DETAILED DRAINAGE ANALYSIS.
 2. ALL UPSTREAM FLOWS SHALL BE ACCEPTED ONSITE AS THEY CURRENTLY EXIST AND SHALL NOT BE OBSTRUCTED, UNLESS OTHERWISE NOTED IN THIS PLAN SET.
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LEGEND

- DA-XX
X.XX AC. DRAINAGE AREA I.D.
DRAINAGE AREA ACERAGE
- DRAINAGE AREA BOUNDARY

REV	DESCRIPTION	DATE
1	ORIGINAL RELEASE	3/31/2021

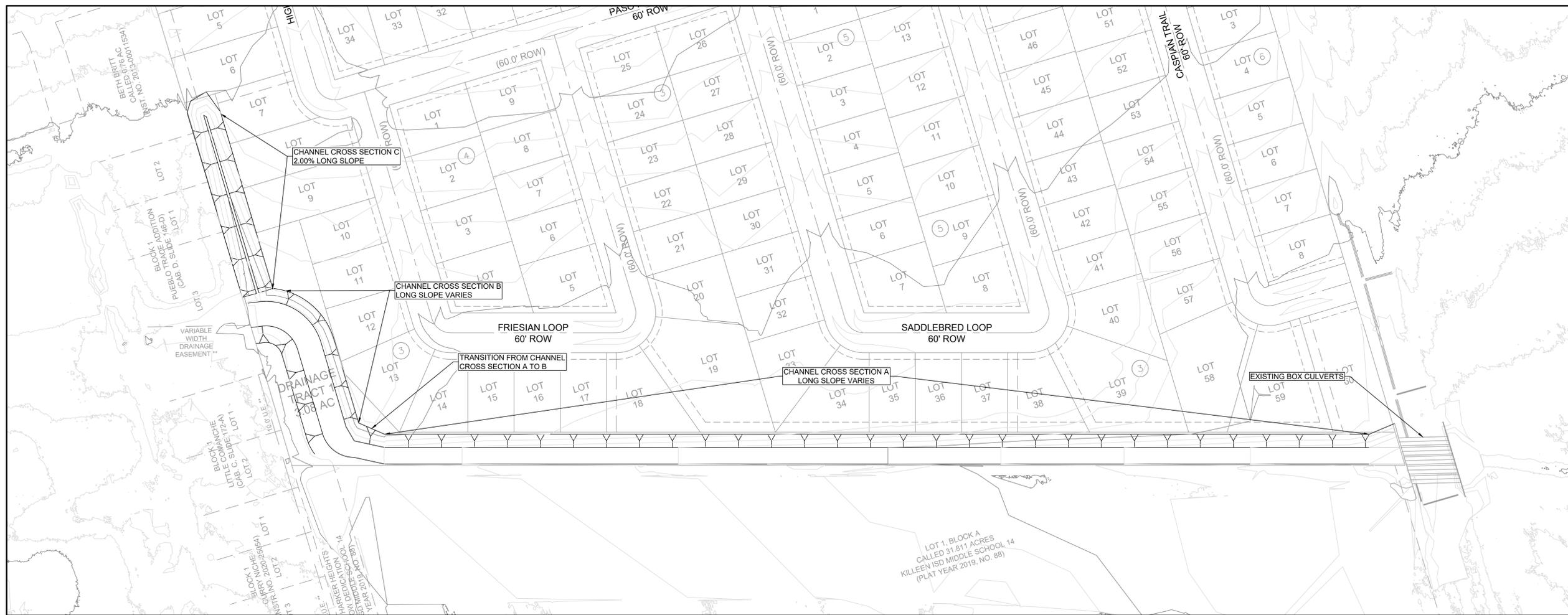


THE VILLAGE AT NOLAN HEIGHTS

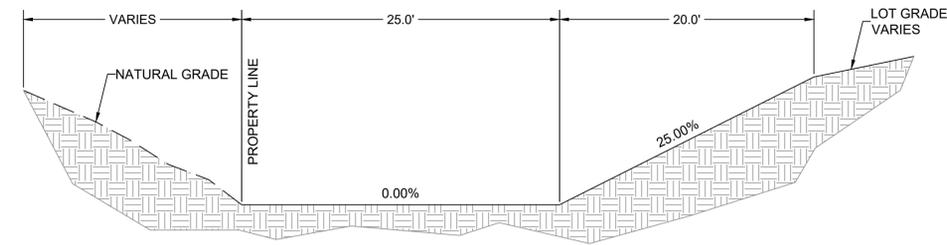
DRAINAGE CHANNEL

SIGNATURE _____ DATE _____

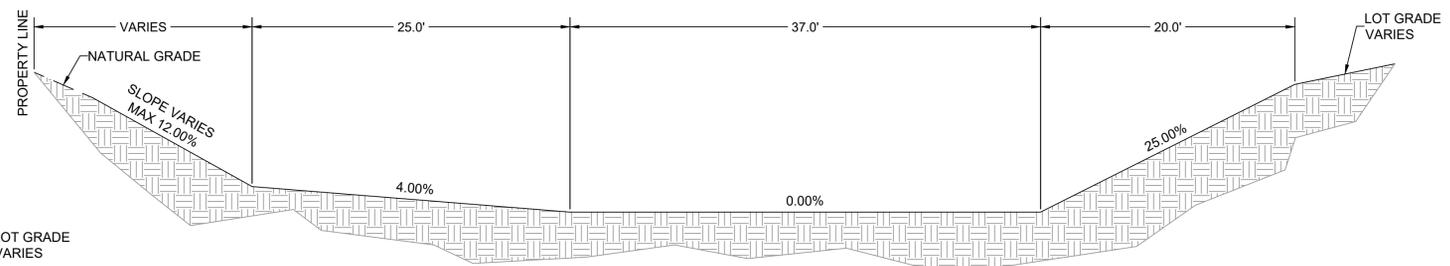
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	DRAWN	JAT
	CHECKED	JAT
	PROJECT #	20-010-001
	DRAWING #	5



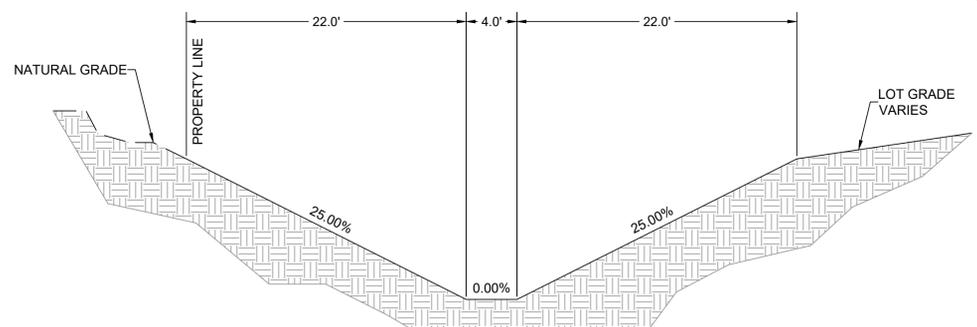
- NOTES:**
1. SEE PRELIMINARY DRAINAGE REPORT, DATED 3/29/2021, FOR DETAILED DRAINAGE ANALYSIS.
 2. ALL UPSTREAM FLOWS SHALL BE ACCEPTED ONSITE AS THEY CURRENTLY EXIST AND SHALL NOT BE OBSTRUCTED, UNLESS OTHERWISE NOTED IN THIS PLAN SET.
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CHANNEL CROSS SECTION A



CHANNEL CROSS SECTION B



CHANNEL CROSS SECTION C

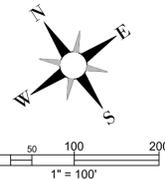
REV	DESCRIPTION	DATE
1	ORIGINAL RELEASE	3/31/2021



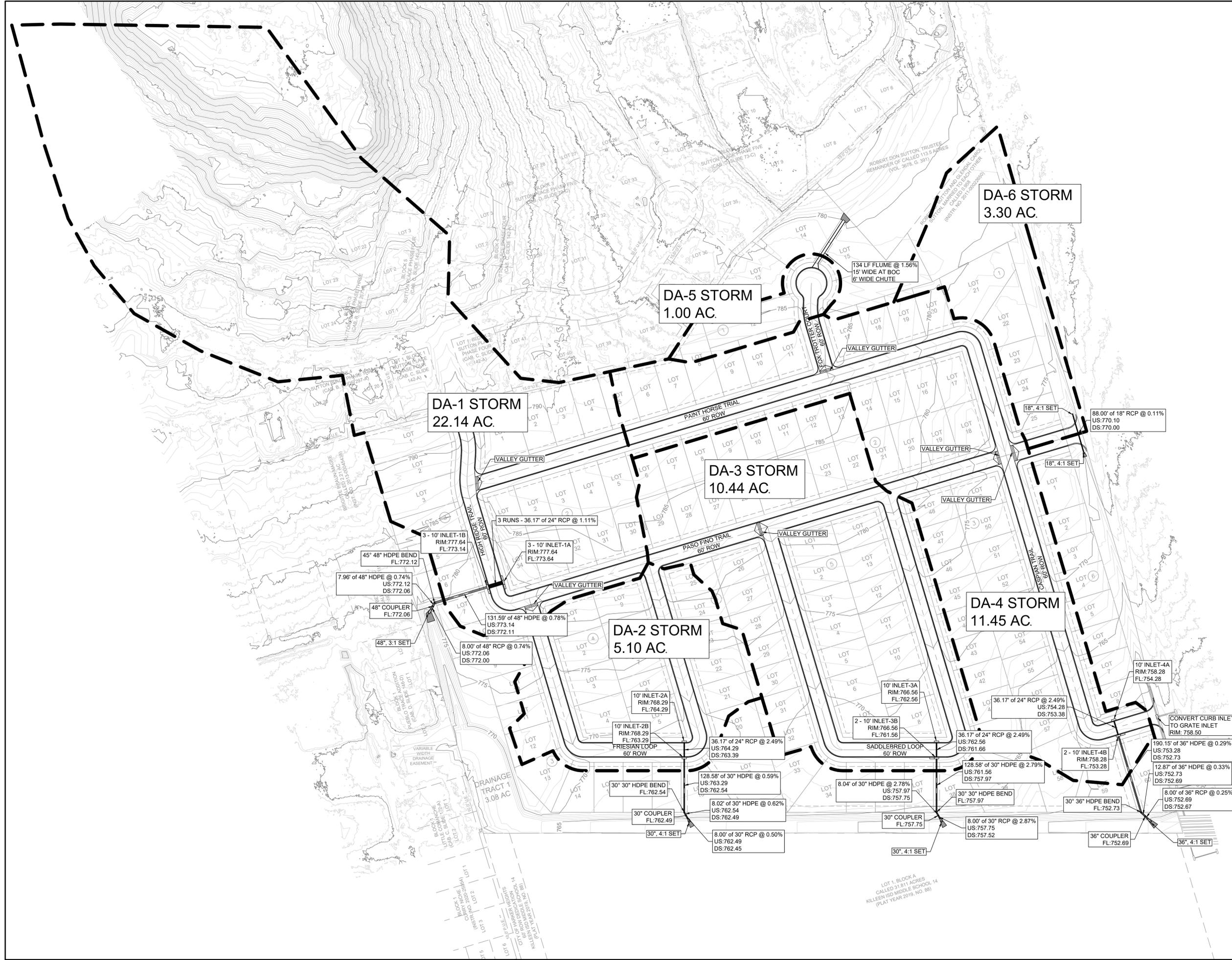
**THE VILLAGE AT
NOLAN HEIGHTS
DRAINAGE CHANNEL
DETAILS**

SIGNATURE _____ DATE _____

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	DRAWN	JAT
	CHECKED	JAT
	PROJECT #	20-010-001
DRAWING #		6



- NOTES:**
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 - SEE INDIVIDUAL PROFILE SHEETS FOR RIPRAP DETAILS.



LEGEND

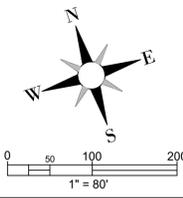
DA-XX	DRAINAGE AREA I.D.
X.XX AC.	DRAINAGE AREA ACERAGE
---	DRAINAGE AREA BOUNDARY

REV	DESCRIPTION	DATE
1	ORIGINAL RELEASE	3/31/2021

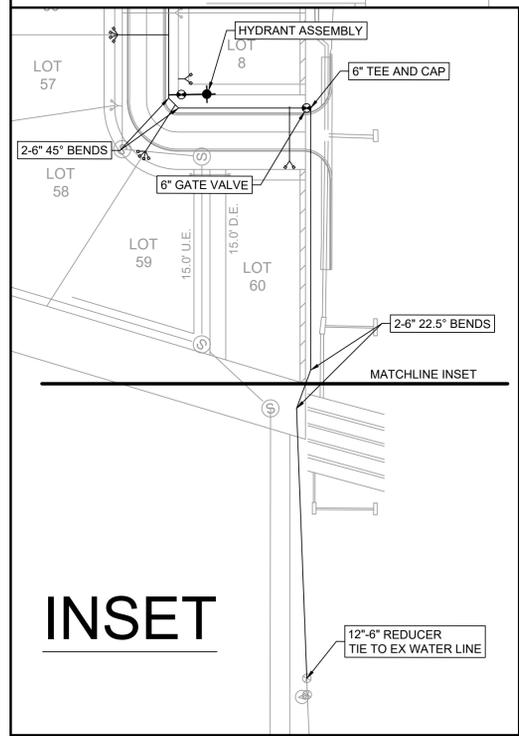
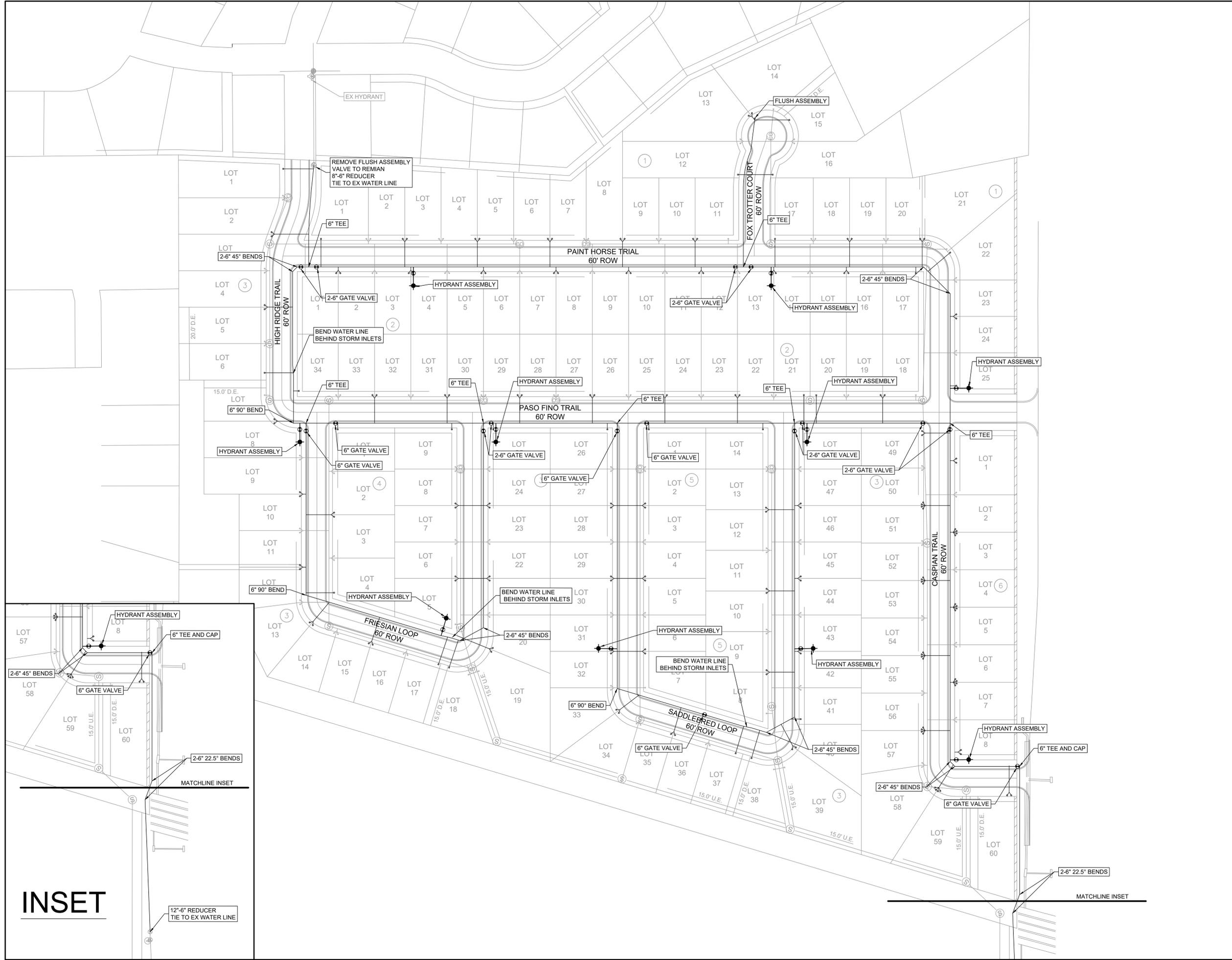


**THE VILLAGE AT NOLAN HEIGHTS
DRAINAGE STRUCTURES**

SIGNATURE		DATE
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		JAT JAT JAT JAT 20-010-001 7



- WATER NOTES:**
1. ALL WATERLINES SHALL BE AWWA C900 PIPE UNLESS OTHERWISE NOTED.
 2. ALL CONSTRUCTION SHOWN HEREIN SHALL BE PER CITY OF HARKER HEIGHTS STANDARDS AND SPECIFICATIONS.
 3. EXISTING UTILITIES SHOWN HEREIN HAVE BEEN LOCATED BY VISIBLE APPURTENANCES AND RECORD DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION AND PROTECTING ALL UTILITIES REGARDLESS OF THEIR DEPICTION HEREIN.
 4. FIRE HYDRANT SYMBOLS ARE FOR REPRESENTATION ONLY. FIRE HYDRANT ORIENTATION SHALL BE PER CITY OF HARKER HEIGHTS STANDARD DETAIL. ALL VALVES FOR HYDRANTS ARE TO BE CONNECTED DIRECTLY TO TEE AND HYDRANT IS TO BE EXTENDED TO PROPERTY LINE.
 5. ALL FIELD BENDS SHALL BE PER PIPE MANUFACTURER RECOMMENDATIONS.
 6. WATER - SEWER CROSSING SHALL MEET THE MINIMUM CURRENT REQUIREMENTS PER TCEQ AND CITY CODE.
 7. THE CONTRACTOR SHALL COORDINATE THE FINAL PLACEMENT OF PROPOSED VALVES AND OTHER APPURTENANCES WITH STREET, SIDEWALK AND UTILITY IMPROVEMENTS TO AVOID CONFLICTS.
 8. SEE SHEETS 45, 46 AND 47 FOR DETAILS.



REV	DESCRIPTION	DATE
1	ORIGINAL RELEASE	3/31/2021

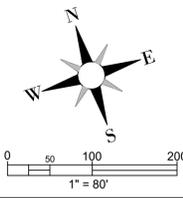


THE VILLAGE AT NOLAN HEIGHTS

WATER LAYOUT

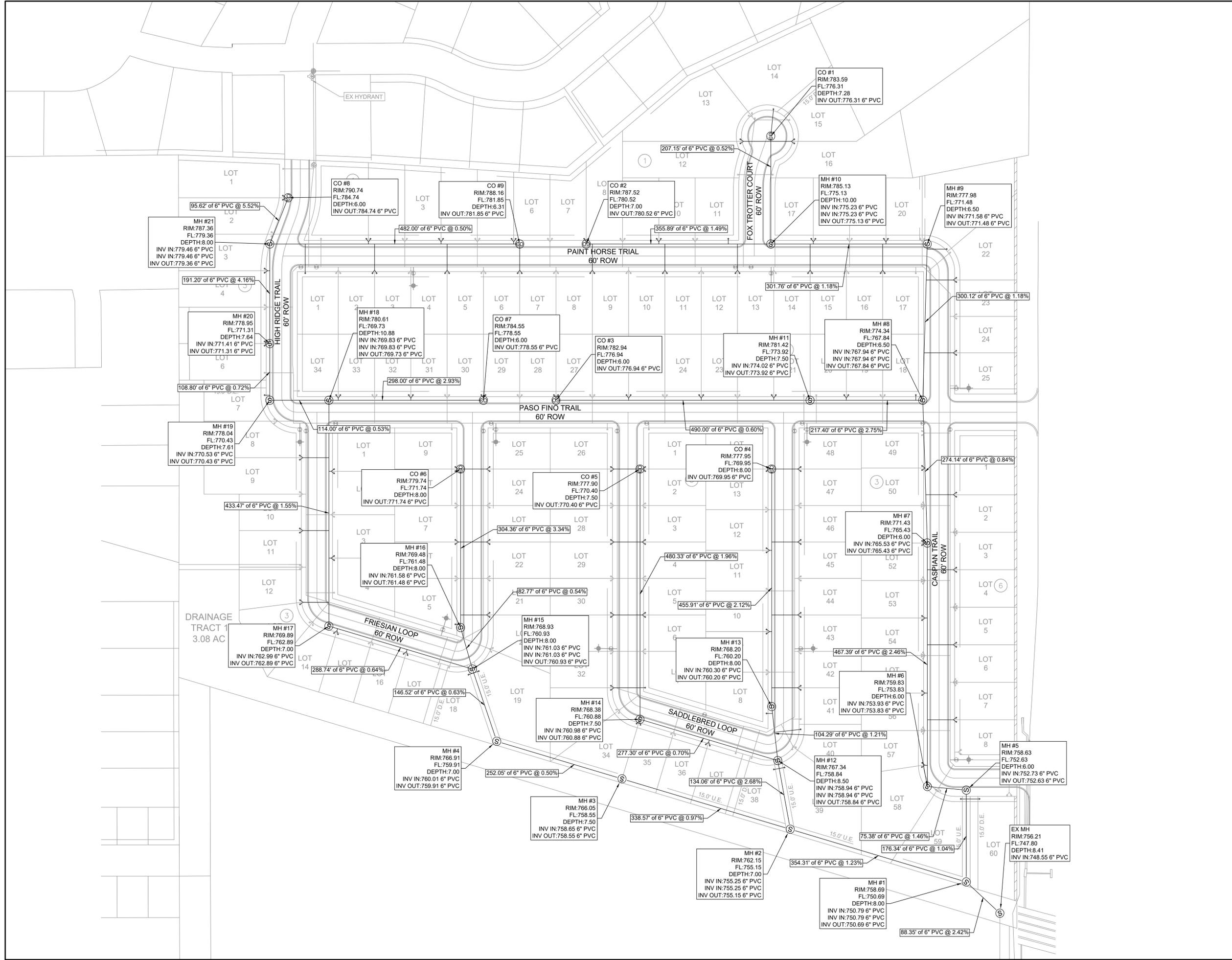
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DESIGN	JAT
DRAWN	JAT
CHECKED	JAT
PROJECT #	20-010-001
DRAWING #	8

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SEWER NOTES:

1. ALL SANITARY SEWER PIPE SHALL BE ASTM D3024, SDR 26 PVC PIPE UNLESS NOTED OTHERWISE.
2. ALL CONSTRUCTION SHOWN HEREIN SHALL BE PER CITY OF HARKER HEIGHTS STANDARDS AND SPECIFICATIONS.
3. EXISTING UTILITIES SHOWN HEREIN HAVE BEEN LOCATED BY VISIBLE APPURTENANCES AND RECORD DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES REGARDLESS OF THERE DEPICTION HEREIN.
4. WATER - SEWER CROSSING SHALL MEET THE MINIMUM CURRENT REQUIREMENTS PER TCEQ AND CITY CODE.
5. SEE SHEET 48 FOR DETAILS.
6. MANHOLES 1-4 SHALL HAVE A WATERTIGHT RING AND COVER.



REV	DESCRIPTION	DATE
1	ORIGINAL RELEASE	3/31/2021

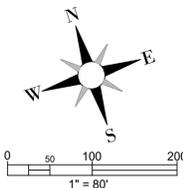


THE VILLAGE AT NOLAN HEIGHTS

SEWER LAYOUT

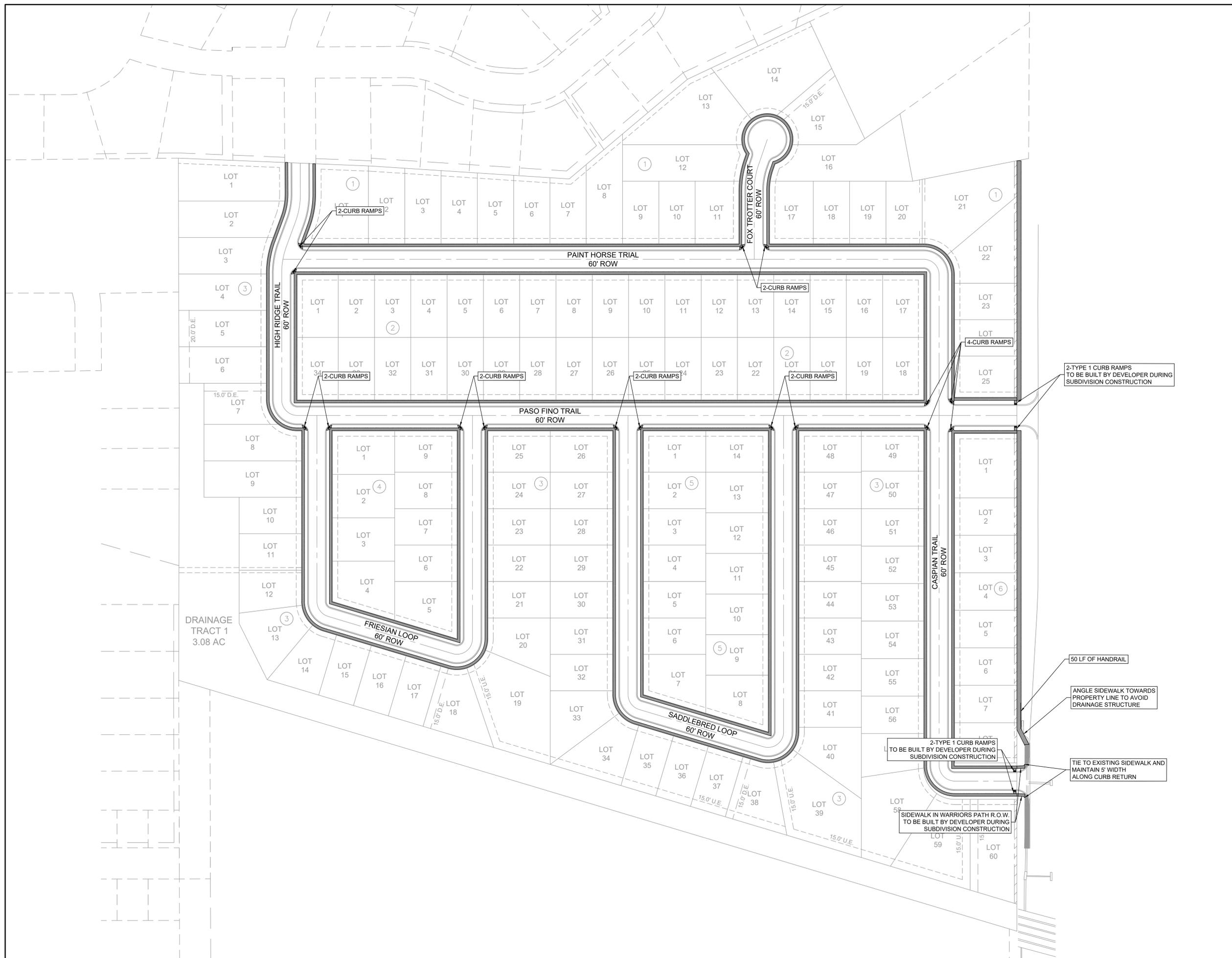
SIGNATURE	DATE

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	DRAWN	JAT
	CHECKED	JAT
	PROJECT #	20-010-001
	DRAWING #	9



SIDEWALK NOTES:

1. SIDEWALKS WITHIN THE PROJECT BOUNDARY ARE TO BE 5' WIDE AND 1' FROM PROPERTY LINE.
2. SIDEWALKS ALONG WARRIORS PATH ARE TO BE 8' WIDE AND BUILT AT TIME OF SUBDIVISION CONSTRUCTION.
3. SIDEWALKS AND CURB RAMPS WITHIN THE PROJECT BOUNDARY ARE TO BE BUILT BY HOMEBUILDER AT TIME OF HOUSE CONSTRUCTION UNLESS OTHERWISE NOTED ON THIS SHEET
4. ALL CURB RAMPS ARE STANDARD HARKER HEIGHTS WHEELCHAIR RAMPS UNLESS OTHERWISE NOTED ON THIS SHEET
5. DEVELOPER IS REQUIRED TO INSTALL ALL SIDEWALKS ACROSS ALL DRAINAGE EASEMENT/TRACT CROSSINGS DURING SUBDIVISION CONSTRUCTION.
6. SEE SHEET 51 FOR DETAILS



REV	DESCRIPTION	DATE
1	ORIGINAL RELEASE	3/31/2021



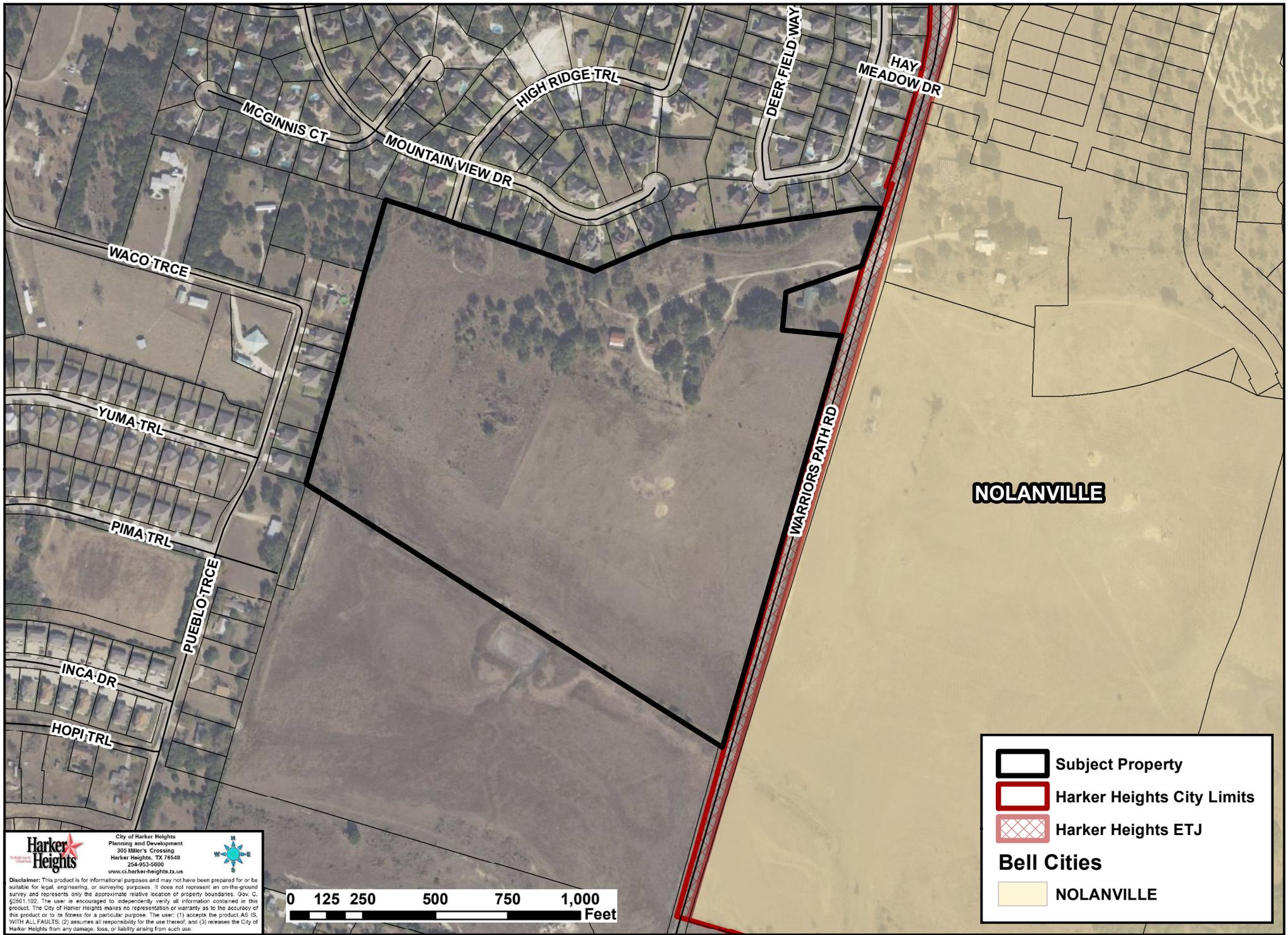
THE VILLAGE AT NOLAN HEIGHTS

SIDEWALK LAYOUT

SIGNATURE

DATE

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PROJECT #	20-010-001												
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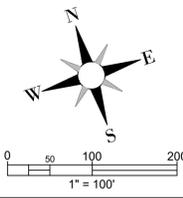
NOLANVILLE

	Subject Property
	Harker Heights City Limits
	Harker Heights ETJ
Bell Cities	
	NOLANVILLE

Harker Heights
 City of Harker Heights
 Planning and Development
 305 Miller's Crossing
 Harker Heights, TX 76548
 254-953-6600
www.ci.harkerheights.tx.us

Disclaimer: This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries. Gov. C. §2601.102. The user is encouraged to independently verify all information contained in this product. The City of Harker Heights makes no representation or warranty as to the accuracy of this product or to its fitness for a particular purpose. The user: (1) accepts the product AS IS, WITH ALL FAULTS; (2) assumes all responsibility for the use thereof; and (3) releases the City of Harker Heights from any damage, loss, or liability arising from such use.





NOTES:

- THIS PROPERTY LIES WITHIN FEMA "ZONE X" AS SHOWN ON THE FLOOD INSURANCE RATE MAP, FEMA MAP 48027C0285E & 48027C0295E WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 26, 2008.
- TOTAL ACREAGE = 47.626 ACRES
- PROPOSED LAND USE WILL BE SINGLE-FAMILY (R-1) FOR ALL LOTS WITH THE EXCEPTION OF LOTS 49-60, BLOCK 1 AND LOTS 1-8, BLOCK 6 WHICH WILL BE TWO-FAMILY RESIDENTS (R-2).
- 132 SINGLE-FAMILY LOTS (R-1)
- 20 TWO-FAMILY LOTS (R-2)
- ADJOINING PROPERTIES LAND USE IS SINGLE-FAMILY, TWO-FAMILY, & A SCHOOL.
- LANDSCAPING WILL BE PER CITY OF HARKER HEIGHTS ORDINANCES.
- SIDEWALKS SHALL BE 5' IN WIDTH, 1' FROM THE PROPERTY LINE ON ALL LOTS ADJACENT TO A STREET ROW.
- THREE POINTS OF INGRESS AND EGRESS ARE PROVIDED FOR PROPER VEHICULAR CIRCULATION AND CONNECTIVITY.
- ALL STREETS ARE TO BE 36' BOC-BOC WITH A 60' ROW WITH THE EXCEPTION OF THE MAIN ENTRANCE WHICH WILL BE 42' BOC-BOC WITH A 70' ROW.
- TYPICAL RESIDENTIAL LOT IS 70'X120'.
- TYPICAL TWO-FAMILY LOT IS 72'X120'.
- ALL SIZES OF UTILITIES AND STORM DRAIN TO BE DETERMINED AT TIME OF CONSTRUCTION PLAN SUBMITTALS.
- PRELIMINARY DRAINAGE STUDY SHOWS FLOW RATES TO BE DECREASED AT WARRIORS PATH CULVERT, RESULTING IN THE SITE NOT REQUIRING DETENTION. DRAINAGE REPORTS WILL BE SUBMITTED AT TIME OF CONSTRUCTION PLANS.
- ALL EASEMENTS AND BUILD LINES WILL FOLLOW THE TYPICAL LOT DETAIL UNLESS OTHERWISE NOTED.
- TRACT A TO BE FOR DRAINAGE.
- TRACT B TO BE DEDICATED TO NEIGHBORING PROPERTY.

DEVELOPER/OWNER : DUSTIN KING
 AUTHORIZED AGENT: JOSEPH THERIOT P.E., REPUBLIC EDC

LEGEND

	STREET CENTERLINE
	EASEMENT
	BUILD LINE
	RIGHT-OF-WAY (ROW)
	PROPERTY BOUNDARY
	TWO-FAMILY (R-2)
	PROPOSED WATER LINE
	FIRE HYDRANT
	PROPOSED SEWER LINE
	PROPOSED MANHOLE
	PROPOSED STORM SYSTEM
	EXISTING WATER LINE
	EXISTING FIRE HYDRANT
	EXISTING SEWER LINE
	EXISTING MANHOLE

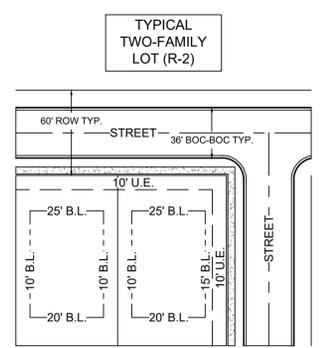
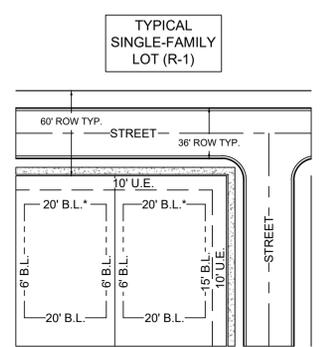
3	ADDED DASHED BORDER AROUND R-2 LOTS UPDATED BUILD LINES	11/23/2020
2	UPDATED NEIGHBORING PROPERTY INFO ADDED CALLOUT FOR DRAINAGE FEATURES ADDED CALLOUT FOR TIE TO HIGH RIDGE TRAIL ADDED TYPICAL LOT LAYOUT DETAILS UPDATED NOTES AND SCALE ADDED 5' SIDEWALKS ON ALL STREETS ADDED SF FOR EACH LOT ADDED BUILDING ENVELOPE FOR EACH LOT	11/19/2020
1	ORIGINAL RELEASE	11/4/2020
REV	DESCRIPTION	DATE



THE VILLAGE AT NOLAN HEIGHTS

CONCEPT PLAN

SIGNATURE	DATE
DESIGN	JAT
DRAFTED	JAT
CHECKED	JAT
PROJECT #	20-010-001
DRAWING #	1



COMANCHE LAND
 4TH UNIT

VILLAGE AT NOLAN HEIGHTS

P21-14 Preliminary Plat – Village at Nolan Heights

Plat Distributed to HH Staff: March 31, 2021

Comments Returned to Republic Engineering & Development Services: April 7, 2021

Planning & Development

1. Please confirm will the plat/subdivision be called “Village at Nolan Heights” or “The Village at Nolan Heights”? Various documents refer to one or the other plat name.
2. Plat – Provide a Plat Note stating which block/lots will be developed as R-1 – Single Family and those that will be developed at R-2 – Duplex.
3. Plat – Please show setbacks for lots.
 - a. R-1 – Front: 25’ (20’ for side entry garages), Side: 6’ and 15’ when adjacent to a side street, Rear: 20’
 - b. R-2 – Front: 25’, Side: 10’ or 15’ when adjacent to a side street, Rear: 20’
4. Plat – Plat Note #7 states that “homes built on lots that front two streets shall be built with the front of the house facing the street upon with the lot has smaller linear frontage”. In the case of Block 6, Lot 1 I presume this will be a duplex and would like to suggest that this dwelling not front Paso Fino Trail at the beginning of the subdivision.
5. KR- Plat Dedication Page Note 1 shall be amended to apply to all parcels within the subdivision not just a single tract.
6. KR- Please verify spelling in Note 2 in the plat dedication page.
7. KR- Plat Dedication Page Note 3 shall be amended to also include FEMA Map 48027C0295E, which effects the southeast corner of the development.
8. KR- Plat Dedication Page Note 3 shall be amended to include an exception statement for Lots 1-9 Block 6, Lot 60 Block 3, and Lots 21-25 Block 1 such that said lots shall not have access to Warrior’s Path. Per Section 154.37, applicant shall place a 1-foot non-access easement along Warrior’s Path.
9. KR- Due to changes beyond the city’s control, Note 9 be removed from the plat dedication page. The sidewalks will be required to be installed at the time of development.
10. KR- Per Section 154.42 of the code of ordinances, provide a utility easement (for sewer) near or on Lots 11 and 12, Block 3 such that it provides connectivity across Drainage Tract 1 and the existing offsite western drainage tract onto Pueblo Trace.
11. KR- Per Section 154.42 of the code of ordinances, provide a utility easement (for sewer) to the offsite parcels adjacent to the northeast corner of this subdivision.
12. KR- Per Section 154.37(D)(1) of the code of ordinances, on the plat dedication page the Caspian Trail ROW connection at Warrior’s Path shall be a width of 70 feet for a distance of 100 feet from the intersection.

13. KR- On Sheet 9 add a note that manholes within or immediately adjacent to drainage easement shall have a watertight ring and cover.
14. KR- On Sheet 10 clarify why sidewalks are not illustrated on both sides of the roadway, and add a note that the developer will be required to install the sidewalks across all drainage easement/ tract crossings within the installation of the public infrastructure.

Public Works, Mark Hyde

Water Layout

1. Remove the 90-degree bend from the fire hydrant assemblies. Connect the fire hydrant valve directly to the tee. Provide additional public utility easements for the perpendicular fire hydrant installation.
2. For the water line connections at High Ridge Trail and Warriors Path, indicate the existing flush assembly valve will remain in place or a new water valve will be installed.

Sanitary Sewer Layout

1. At Fox Trotter Court and the entrance to Caspian Trail, relocate the sanitary sewer lines behind the curb. Move the center line of all sanitary sewer lines 5' behind the back of curb. The current alignment of the sanitary sewer lines are too close to the curb. The curb and street will be damaged during future maintenance excavation. Provide additional public utility easements for the sanitary sewer.
2. Regarding sanitary sewer capacity for this development, the City of Harker Heights has conducted an engineering study on the remaining sanitary sewer capacity of the Evergreen-Fawn Valley Lift Station, the Trimmier Lift Station and associated lift station force mains and receiving gravity sanitary sewer mains. The sanitary sewer system serving this proposed subdivision is currently at capacity. The City of Harker Heights has engineering design underway for the sanitary sewer capacity expansion. Developers will be required to pay for the sanitary sewer expansion costs required to serve their subdivision.

Sidewalk Layout

1. Sidewalks are required on both sides of the streets within the subdivision. Please revise the layout sheet to show sidewalks on both sides of the street.

Consulting Engineer, Otto Wiederhold

I am in agreement with the Drainage report and the Water study/report. I will review the final construction plans when they are provided. I recommend approval subject to comments.

1. Street and Storm Drainage Plan & Profiles. Storm Drainage conduits profiles need to include the HGLs (hydraulic Grade Lines).
2. Sanitary Sewer Plan & Profiles

3. Water plans
4. Earthen Drainage Channel Plan, Profile with Water Surface Profile included.
5. The Drainage sheets indicate a detailed drainage study that was not furnished to me for review. Calculations of runoff depths within streets at points of concentration is very important in my review and comments.

Fire Marshal, Brad Alley

1. Hydrants will need to be relocated
 - Hydrant 2 (Block 2 lot12) needs to be across from the cul-de-sac suggest moving to Block 2 lot 13 & 14 property line or SW corner of block 1 lot 17 (Paint Horse Trail & Fox Trotter Court)
 - Hydrant 3 (block 1 lot 23) moves to SW corner of Block 1 lot 25 (Paso Fino Trail & Caspian Trail)
 - Hydrant 4 (block 6 lot 4) moves to SW corner of Block 6 lot 8 (Caspian Trail)
 - Hydrant 5 (block 3 lot 49) moves to NW corner of block 3 lot 48 (Saddlebreed Loop & Paso Fino Trail)
 - Hydrant 8 (block 3 lot 26 moves to NW corner of block 3 lot 25 (Friesian Loop & Paso Fino Trail)

Building Official, Mike Beard

1. No Comments.

ONCOR, Derex Spencer

Century Link, Chris McGuire

1. No Comments.

Time Warner Cable/Spectrum, Shaun Whitehead

ATMOS, Burton Jones

1. Atmos does not have any assets that are presumed to be in conflict with the proposed development w/ respect to the exhibits provided.
2. NOTE: Should this development consider going with Natural Gas, please do reach out for discussion on that matter as we do have a 3" gas main at the North West end of the property.



✉ info@RepublicEDS.com

📍 P.O. Box 3123
Harker Heights, TX 76548

☎ 979.234.0396

April 12, 2020

City of Harker Heights
305 Millers Crossing
Harker Heights, Texas 76548

Attn: Harker Heights City Staff

Harker Heights City Staff,

Below is the response to comments for The Village at Nolan Heights Preliminary Plat, received on April 7, 2021. Response to comment is in **bold**.

Planning & Development

1. Please confirm will the plat/subdivision be called “Village at Nolan Heights” or “The Village at Nolan Heights”? Various documents refer to one or the other plat name.
The plat will be called “The Village at Nolan Heights”. The plat has been updated.
2. Plat – Provide a Plat Note stating which block/lots will be developed as R-1 – Single Family and those that will be developed at R-2 – Duplex.
Note has been added (note 10).
3. Plat – Please show setbacks for lots.
 - a. R-1 – Front: 25’ (20’ for side entry garages), Side: 6’ and 15’ when adjacent to a side street, Rear: 20’
 - b. R-2 – Front: 25’, Side: 10’ or 15’ when adjacent to a side street, Rear: 20’
A typical lot layout has been added. Setback on each individual lot cluttered the plat making it almost illegible.
4. Plat – Plat Note #7 states that “homes built on lots that front two streets shall be built with the front of the house facing the street upon with the lot has smaller linear frontage”. In the case of Block 6, Lot 1 I presume this will be a duplex and would like to suggest that this dwelling not front Paso Fino Trail at the beginning of the subdivision.
Correct, the intention is for that lot’s structure to face Caspian Trail. Note 7 has been revised to insure lot 1, block 6 faces Caspian Trail.

5. KR- Plat Dedication Page Note 1 shall be amended to apply to all parcels within the subdivision not just a single tract.
Note has been revised to refer to the whole development.
6. KR- Please verify spelling in Note 2 in the plat dedication page.
Note has been updated.
7. KR- Plat Dedication Page Note 3 shall be amended to also include FEMA Map 48027C0295E, which effects the southeast corner of the development.
Note has been updated.
8. KR- Plat Dedication Page Note 3 shall be amended to include an exception statement for Lots 1-9 Block 6, Lot 60 Block 3, and Lots 21-25 Block 1 such that said lots shall not have access to Warrior's Path. Per Section 154.37, applicant shall place a 1-foot non-access easement along Warrior's Path.
I believe this comment is meant for Note 7. Note 9 was revised to include the exception statement for access for lots adjoining Warriors Path and the non-access easement has been added.
9. KR- Due to changes beyond the city's control, Note 9 be removed from the plat dedication page. The sidewalks will be required to be installed at the time of development.
Note 9 has been removed. Sidewalks along Warriors Path have been added to the sidewalk layout.
10. KR- Per Section 154.42 of the code of ordinances, provide a utility easement (for sewer) near or on Lots 11 and 12, Block 3 such that it provides connectivity across Drainage Tract 1 and the existing offsite western drainage tract onto Pueblo Trace.
A 10' U.E. along the common lot line of lots 11 and 12, block 3 and the drainage tract has been added.
11. KR- Per Section 154.42 of the code of ordinances, provide a utility easement (for sewer) to the offsite parcels adjacent to the northeast corner of this subdivision.
The 15' Drainage Easement along Lot 15, Block 1 has been revised to also be an underground Utility Easement. A 10' U.E. along the common lot line of Lots 20 & 21, Block 1 has been added, please see revised plat.
12. KR- Per Section 154.37(D)(1) of the code of ordinances, on the plat dedication page the Caspian Trail ROW connection at Warrior's Path shall be a width of 70 feet for a distance of 100 feet from the intersection.
The entrance of Caspian Trail has been updated to a 70' ROW.

13. KR- On Sheet 9 add a note that manholes within or immediately adjacent to drainage easement shall have a watertight ring and cover.

Note has been added.

14. KR- On Sheet 10 clarify why sidewalks are not illustrated on both sides of the roadway, and add a note that the developer will be required to install the sidewalks across all drainage easement/tract crossings within the installation of the public infrastructure.

There was a printing error, that resulted in some of the sidewalks not showing up. This has been fixed to show sidewalks on both sides of the street. Note has been added.

Public Works, Mark Hyde

Water Layout

1. Remove the 90-degree bend from the fire hydrant assemblies. Connect the fire hydrant valve directly to the tee. Provide additional public utility easements for the perpendicular fire hydrant installation.

Hydrants have been changed to perpendicular and extended to the property line. This location will avoid all sidewalks and dry utilities while staying as close to the street as possible. The hydrants will be within the 10' U.E. that runs along the R.O.W. Note 4 has been updated to reflect these changes.

2. For the water line connections at High Ridge Trail and Warriors Path, indicate the existing flush assembly valve will remain in place or a new water valve will be installed.

Callout has been updated for valve to remain.

Sanitary Sewer Layout

1. At Fox Trotter Court and the entrance to Caspian Trail, relocate the sanitary sewer lines behind the curb. Move the center line of all sanitary sewer lines 5' behind the back of curb. The current alignment of the sanitary sewer lines are too close to the curb. The curb and street will be damaged during future maintenance excavation. Provide additional public utility easements or the sanitary sewer.

The sewer layout has been adjusted as requested.

2. Regarding sanitary sewer capacity for this development, the City of Harker Heights has conducted an engineering study on the remaining sanitary sewer capacity of the Evergreen-Fawn Valley Lift Station, the Trimmier Lift Station and associated lift station force mains and receiving gravity sanitary sewer mains. The sanitary sewer system serving this proposed subdivision is currently at capacity. The City of Harker Heights has engineering design underway for the sanitary sewer capacity expansion. Developers will be required to pay for the sanitary sewer expansion costs required to serve their subdivision.

Per previous conversations with city staff, the developer is willing to enter into a Developer Agreement to satisfy the city's concerns about the downstream sanitary sewer upgrades. The developer request that in this agreement all fees associated with the improvements be issued at a per connection basis and enforced at the time a building permit is requested for each individual lot. The developer also requests that all lots be allowed to receive building permits and 50 of those lots be able to receive certificates of occupancy prior to the downstream improvements being completed. We feel that with the timing of both this project and the downstream improvements, these 50 lots will cause minimal additional strain to the system and there is a high possibility that by the time these 50 lots are fully developed, homes constructed and occupied, the downstream improvement will be close to, if not completely, done.

Sidewalk Layout

1. Sidewalks are required on both sides of the streets within the subdivision. Please revise the layout sheet to show sidewalks on both sides of the street.

There was a printing error, that resulted in some of the sidewalks not showing up. This has been fixed to show sidewalks on both sides of the street. Sidewalk as also been added along Warriors Path per the plat note change.

Consulting Engineer, Otto Wiederhold

I am in agreement with the Drainage report and the Water study/report. I will review the final construction plans when they are provided. I recommend approval subject to comments.

1. Street and Storm Drainage Plan & Profiles. Storm Drainage conduits profiles need to include the HGLs (hydraulic Grade Lines).

Understood. All plan and profiles will be submitted with construction plans.

2. Sanitary Sewer Plan & Profile

Understood. All plan and profiles will be submitted with construction plans.

3. Water plans

Understood. All plan and profiles will be submitted with construction plans.

4. Earthen Drainage Channel Plan, Profile with Water Surface Profile included.
Understood. All plan and profiles will be submitted with construction plans.

5. The Drainage sheets indicate a detailed drainage study that was not furnished to me for review. Calculations of runoff depths within streets at points of concentration is very important in my review and comments.
A preliminary drainage report was submitted with the preliminary plat. The preliminary report only focused on the larger drainage features and a pre-post analysis. A more detailed report (including street capacities and storm drain design) will be submitted with the construction plans.

Fire Marshal, Brad Alley

1. Hydrants will need to be relocated.
 - Hydrant 2 (Block 2 lot12) needs to be across from the cul-de-sac suggest moving to Block 2 lot 13 & 14 property line or SW corner of block 1 lot 17 (Paint Horse Trail & Fox Trotter Court)
Hydrant has been moved as requested.
 - Hydrant 3 (block 1 lot 23) moves to SW corner of Block 1 lot 25 (Paso Fino Trail & Caspian Trail)
Hydrant has been moved as requested.
 - Hydrant 4 (block 6 lot 4) moves to SW corner of Block 6 lot 8 (Caspian Trail)
Hydrant has been moved as requested.
 - Hydrant 5 (block 3 lot 49) moves to NW corner of block 3 lot 48 (Saddlebreed Loop & Paso Fino Trail)
Hydrant has been moved as requested.
 - Hydrant 8 (block 3 lot 26 moves to NW corner of block 3 lot 25 (Friesian Loop & Paso Fino Trail)
Hydrant has been moved as requested.

Building Official, Mike Beard

No Comments.

ONCOR, Derex Spencer

No Comments.

Century Link, Chris McGuire

No Comments.

Time Warner Cable/Spectrum, Shaun Whitehead

No Comments.

ATMOS, Burton Jones

1. Atmos does not have any assets that are presumed to be in conflict with the proposed development w/ respect to the exhibits provided.
Understood. No changes made.
2. NOTE: Should this development consider going with Natural Gas, please do reach out for discussion on that matter as we do have a 3" gas main at the North West end of the property.
Understood. No changes made.

Sincerely,

Joseph Theriot, P.E.

VILLAGE AT NOLAN HEIGHTS

P21-14 Preliminary Plat – Village at Nolan Heights

Plat Distributed to HH Staff: April 12, 2021

Comments Returned to Republic Engineering & Development Services: April 19, 2021

Response: April 16, 2021

Planning & Development

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13. KR- On Sheet 9 add a note that manholes within or immediately adjacent to drainage easement shall have a watertight ring and cover.
14. KR- On Sheet 10 clarify why sidewalks are not illustrated on both sides of the roadway, and add a note that the developer will be required to install the sidewalks across all drainage easement/ tract crossings within the installation of the public infrastructure.

MET (4/16/21)

Public Works, Mark Hyde

Water Layout

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2. For the water line connections at High Ridge Trail and Warriors Path, indicate the existing flush assembly valve will remain in place or a new water valve will be installed.

MET (4/16/21)

Sanitary Sewer Layout

1. **At Fox Trotter Court and the entrance to Caspian Trail, relocate the sanitary sewer lines behind the curb. Move the center line of all sanitary sewer lines 5' behind the back of curb. The current alignment of the sanitary sewer lines are too close to the curb. The curb and street will be damaged during future maintenance excavation. Provide additional public utility easements for the sanitary sewer if necessary.**
2. Regarding sanitary sewer capacity for this development, the City of Harker Heights has conducted an engineering study on the remaining sanitary sewer capacity of the Evergreen-Fawn Valley Lift Station, the Trimmier Lift Station and associated lift station force mains and receiving gravity sanitary sewer mains. The sanitary sewer system serving this proposed subdivision is currently at capacity. The City of Harker Heights has engineering design underway for the sanitary sewer capacity expansion. Developers will be required to pay for the sanitary sewer expansion costs required to serve their subdivision.

Sidewalk Layout

1. Sidewalks are required on both sides of the streets within the subdivision. Please revise the layout sheet to show sidewalks on both sides of the street.

MET (4/16/21)

Consulting Engineer, Otto Wiederhold

I am in agreement with the Drainage report and the Water study/report. I will review the final construction plans when they are provided. I recommend approval subject to comments.

1. Street and Storm Drainage Plan & Profiles. Storm Drainage conduits profiles need to include the HGLs (hydraulic Grade Lines).

2. Sanitary Sewer Plan & Profiles
3. Water plans
4. Earthen Drainage Channel Plan, Profile with Water Surface Profile included.
5. The Drainage sheets indicate a detailed drainage study that was not furnished to me for review. Calculations of runoff depths within streets at points of concentration is very important in my review and comments.

MET (4/16/21)

Fire Marshal, Brad Alley

1. Hydrants will need to be relocated
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 - Hydrant 8 (block 3 lot 26 moves to NW corner of block 3 lot 25 (Friesian Loop & Paso Fino Trail)

MET (4/16/21)

Building Official, Mike Beard

1. No Comments.

ONCOR, Derex Spencer

Century Link, Chris McGuire

1. No Comments.

Time Warner Cable/Spectrum, Shaun Whitehead

ATMOS, Burton Jones

1. Atmos does not have any assets that are presumed to be in conflict with the proposed development w/ respect to the exhibits provided.
2. NOTE: Should this development consider going with Natural Gas, please do reach out for discussion on that matter as we do have a 3" gas main at the North West end of the property.



✉ info@RepublicEDS.com

📍 P.O. Box 3123
Harker Heights, TX 76548

☎ 979.234.0396

April 20, 2020

City of Harker Heights
305 Millers Crossing
Harker Heights, Texas 76548

Attn: Harker Heights City Staff

Harker Heights City Staff,

Below is the response to comments for The Village at Nolan Heights Preliminary Plat, received on April 19, 2021. Response to comment is in **bold**.

Planning & Development

All comments met on 4/16/21

Public Works, Mark Hyde

Water Layout

All comments met on 4/16/21

Sanitary Sewer Layout

1. At Fox Trotter Court and the entrance to Caspian Trail, relocate the sanitary sewer lines behind the curb. Move the center line of all sanitary sewer lines 5' behind the back of curb. The current alignment of the sanitary sewer lines are too close to the curb. The curb and street will be damaged during future maintenance excavation. Provide additional public utility easements or the sanitary sewer.

The sewer layout has been adjusted as requested.

All other comments were met on 4/16/21.

Sidewalk Layout

All comments met on 4/16/21

Consulting Engineer, Otto Wiederhold

All comments met on 4/16/21

Fire Marshal, Brad Alley

All comments met on 4/16/21

Building Official, Mike Beard

No Comments.

ONCOR, Derex Spencer

No Comments.

Century Link, Chris McGuire

No Comments.

Time Warner Cable/Spectrum, Shaun Whitehead

No Comments.

ATMOS, Burton Jones

No Additional Comments.

Sincerely,

Joseph Theriot, P.E.

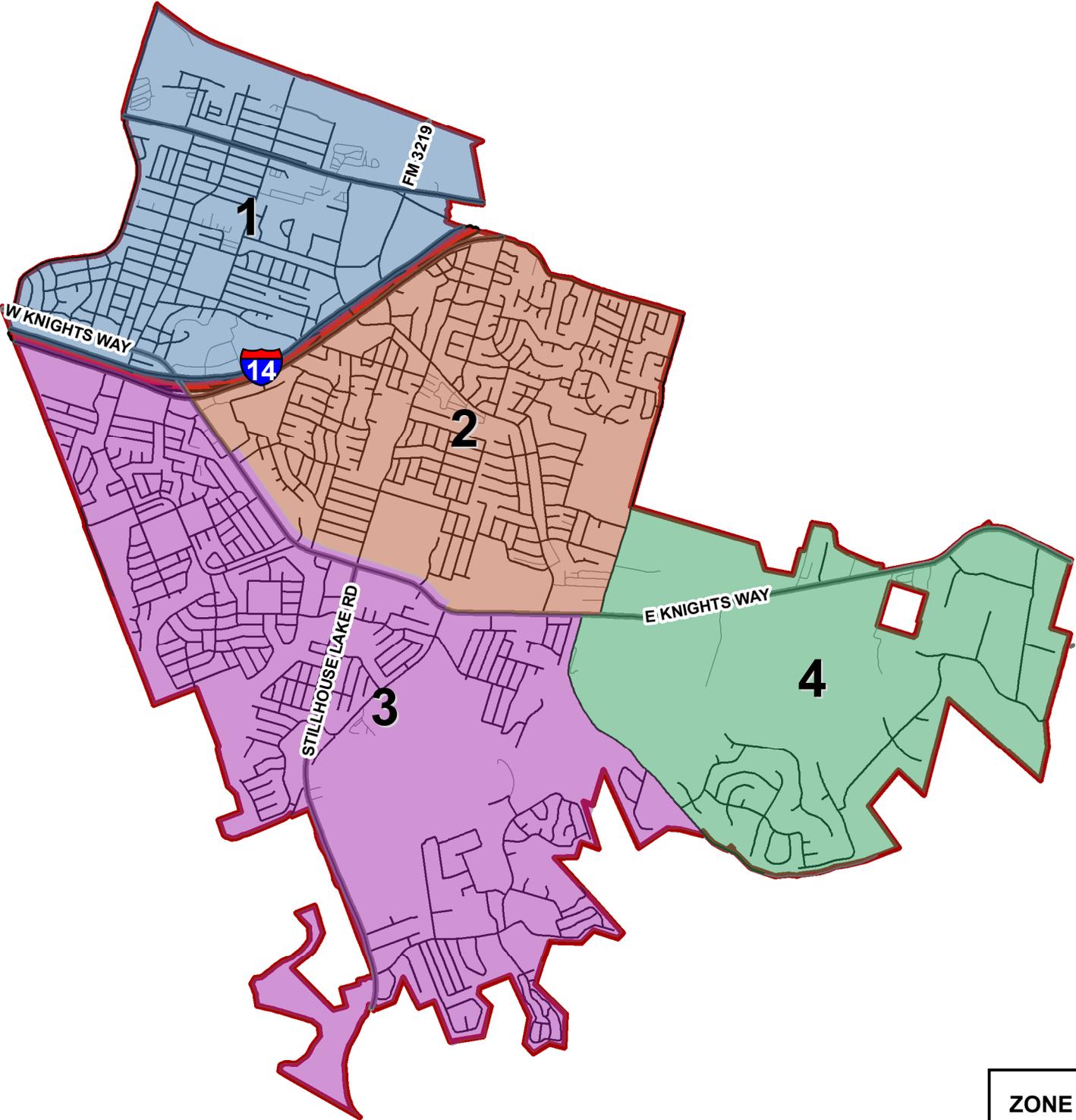


Planning & Zoning Commission
WORKSHOP

AGENDA ITEM II-1

*Receive and discuss update regarding the update to
Section 1 of the Future Land Use Map.*

Future Land Use Map - Prospective Zones



0 0.25 0.5 1 1.5 2 Miles

ZONE	
	1
	2
	3
	4

Future Land Use Map - Prospective Zones

ZONE



1



Harker Heights City Limits



Harker Heights ETJ

Future Land Use



Single Family Residential



Mixed Residential



Medium Density Residential



High Density Residential



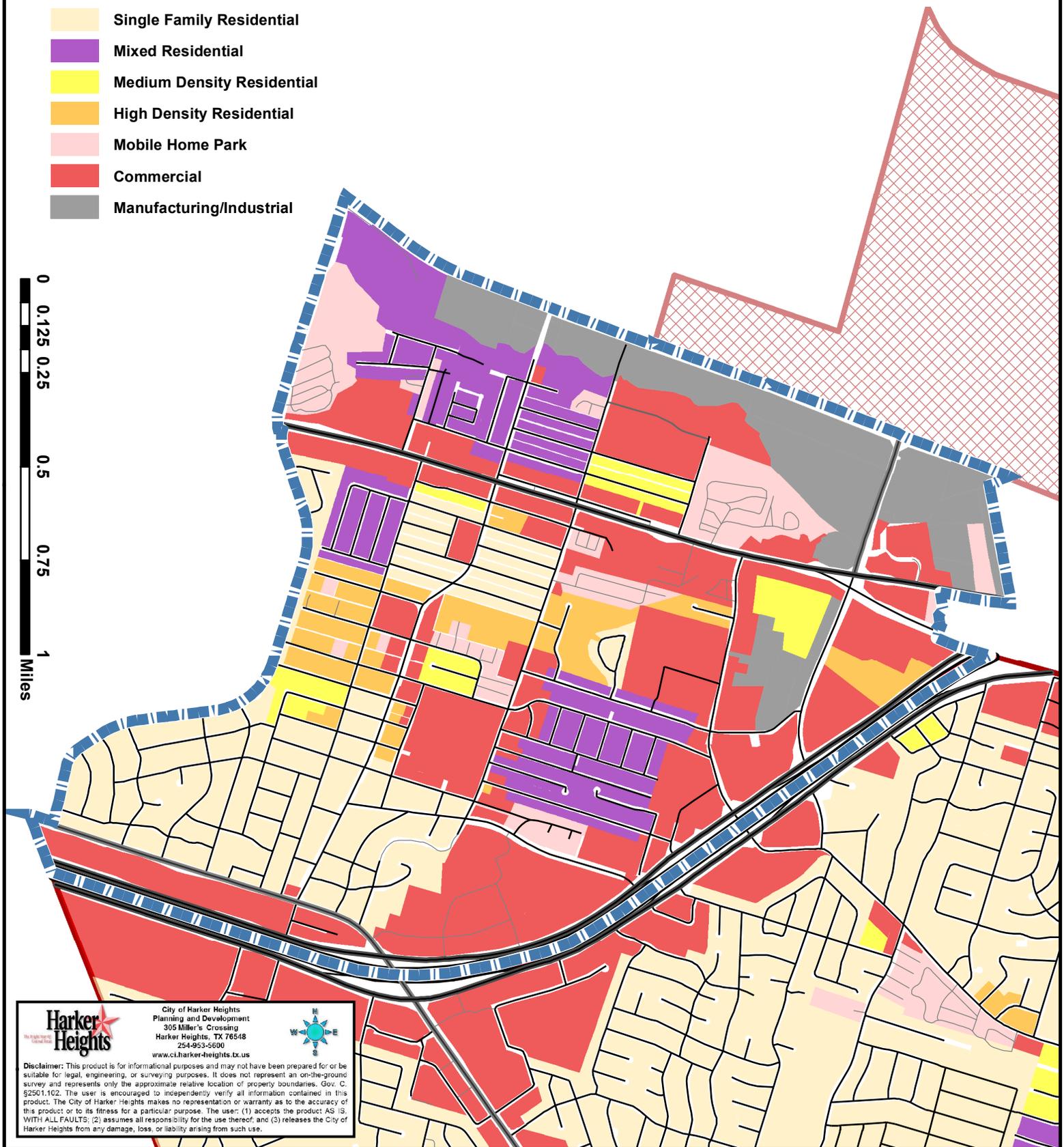
Mobile Home Park



Commercial



Manufacturing/Industrial



City of Harker Heights
Planning and Development
305 Miller's Crossing
Harker Heights, TX 76548
254-953-5600
www.ci.harker-heights.tx.us

Disclaimer: This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries. Gov. C. §2501.102. The user is encouraged to independently verify all information contained in this product. The City of Harker Heights makes no representation or warranty as to the accuracy of this product or to its fitness for a particular purpose. The user: (1) accepts the product AS IS, WITH ALL FAULTS; (2) assumes all responsibility for the use thereof; and (3) releases the City of Harker Heights from any damage, loss, or liability arising from such use.