



**June 9, 2020**

**5:00 P.M.**

**CITY COUNCIL**

**MEETING AGENDA**



**NOTICE OF MEETING OF THE CITY COUNCIL OF  
THE CITY OF HARKER HEIGHTS, TEXAS  
VIA TELECONFERENCE**

*The City of Harker Heights*  
305 Miller's Crossing  
Harker Heights, Texas 76548  
Phone 254/953-5600  
Fax 254/953-5614

**Mayor**  
Spencer H. Smith

**Mayor Protem**  
Michael Blomquist

**City Council**  
Jennifer McCann  
Jackeline Soriano Fountain  
John Reider  
Jody Nicholas

Notice is hereby given that, beginning at 5:00 p.m. on Tuesday, June 9, 2020, and continuing from day to day thereafter if necessary, the City Council of the City of Harker Heights, Texas, will conduct a telephonic meeting to contain the spread of COVID-19 in accordance with Governor Abbott's declaration of the COVID-19 public health threat and action to temporarily suspend certain provisions of the Texas Open Meetings Act issued on March 16, 2020. The subjects to be discussed are listed in the following agenda:

**I. Invocation:**

**II. Pledge of Allegiance:**

I Pledge Allegiance to the Flag of the United States of America and to the Republic for which it stands, one nation under God, indivisible, with liberty and justice for all.

Honor the Texas Flag. I pledge allegiance to thee Texas; one state under God, one and indivisible.

**III. Roll Call:**

**IV. Mayoral Proclamations and Presentations:**

**V. Consent Items:**

1. Discuss and consider approving the minutes of the meeting held on May 26, 2020, and take the appropriate action.

**VI. Presentations by Citizens:**

Citizens who desire to address the Council on any matter may do so during this item. Please understand that while the Council appreciates hearing your comments, State law (Texas Gov't Code §551.042) prohibits them from: (1) engaging in discussion other than providing a statement of specific factual information or reciting existing City policy, and (2) taking action other than directing Staff to place the matter on a future agenda. Please state your name and address for the record and limit your comments to three minutes.

**VII. Public Hearings:**

1. Conduct a public hearing to discuss and consider approving an Ordinance of the City of Harker Heights, Texas, to modify the Code of Harker Heights Chapter 74, Schedule V, by adding three (3) Stop Signs at the Pueblo Trace and Pima Trail Intersection, and take the appropriate action. (Public Works Director)

2. Conduct a public hearing to discuss and consider approving an Ordinance of the City of Harker Heights, Texas, to change the zoning designation from R-1 (One Family Dwelling District) to R1-R (Rural One Family Dwelling District) on property described as Tract 20, Lakeside Hills, Section Two, a Subdivision in Bell County, according to the Plat of Record in Cabinet A, Slide 43-C, Plat Records of Bell County, Texas, containing 6.11 Acres, generally located at 10518 Meadow Circle, Harker Heights, Bell County, Texas, and take the appropriate action. (Planning and Development Director)
3. Conduct a public hearing to discuss and consider approving an Ordinance of the City of Harker Heights, Texas, to change the zoning designation from R-3 (Multi-Family Dwelling District) to R2-I (Two Family Infill Dwelling District) on property described as Lots One (1) through Five (5), Block Three (3), Kern Terrace Second Extension, Harker Heights, per Plat of Record in Cabinet A, Slide 225-A, Plat Records of Bell County, Texas, and 1.241 Acres out of the V.L. Evans Survey, Abstract 288, generally located southwest of the intersection of Jamie Road and North Mary Jo Drive, currently addressed as 200, 202, 204, 206, and 208 Jamie Road, and 200 Jan Circle, Harker Heights, Bell County, Texas, and take the appropriate action. (Planning and Development Director)

**VIII. Old Business:**

**IX. New Business:**

1. Discuss and consider approving a Preliminary Plat for Freedom Park Subdivision on property described as Lots One (1) through Five (5), Block Three (3), Kern Terrace Second Extension, Harker Heights, per Plat of Record in Cabinet A, Slide 225-A, Plat Records of Bell County, Texas, and 1.241 Acres out of the V.L. Evans Survey, Abstract 288, generally located southwest of the intersection of Jamie Road and North Mary Jo Drive, currently addressed as 200, 202, 204, 206, and 208 Jamie Road, and 200 Jan Circle, Harker Heights, Bell County, Texas, and take the appropriate action. (Planning and Development Director)

**X. Reports of Advisory Boards & Commissions:**

**XI. Items from Council:**

**XII. Staff Reports:**

1. Receive and discuss training on Cyber Security Awareness. (I. T. Director)
2. Receive and discuss the City Manager's Report. (City Manager)

**XIII. Announcements:**

**XIV. Adjournment:**

I hereby certify that the above notice of meeting was posted on the window board of City Hall, City of Harker Heights, Texas, a place readily accessible to the general public at all times, on the 5<sup>th</sup> day of June 2020 by 4:00 p.m., and remained posted for at least 72 continuous hours preceding the scheduled time of said meeting.



Juliette Helsham  
City Secretary

**The public may participate remotely in this meeting by dialing-in using the toll-free number: (866) 899-4679 and use Access Code: 194-898-805.**

**To join the meeting from your computer, tablet or smartphone, use the following meeting link: <https://global.gotomeeting.com/join/194898805>**

**The public will be permitted to offer public comments telephonically as provided by the agenda. Written questions or comments may be submitted two hours before the meeting to the City Secretary's Office. When submitting your written questions or comments, you must include your Name and Address. Agenda packet and recording of the telephonic meeting will be available on the City of Harker Heights website at [www.ci.harker-heights.tx.us](http://www.ci.harker-heights.tx.us).**

*"This facility is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's office at 254-953-5600, or FAX 254-953-5614, or email [jhelsham@harkerheights.gov](mailto:jhelsham@harkerheights.gov) for further information."*

*"Pursuant to Chapter 551 of the Government Code the City Council reserves the right to go into Closed Meeting on any item listed above if deemed necessary."*



Minutes of the of the City Council meeting held at 5:00 p.m. on Tuesday, May 26, 2020 by a telephonic meeting to contain the spread of COVID-19 in accordance with Governor Abbott's declaration of the COVID-19 public health threat and action to temporarily suspend certain provisions of the Texas Open Meetings Act issued on March 16, 2020:

<b>Roll Call:</b>	Spencer H. Smith	Mayor
	Michael Blomquist	Mayor Pro-tem
	Jennifer McCann	Councilmember Place 1
	John Reider	Councilmember Place 4
	Jody Nicholas	Councilmember Place 5
	David Mitchell	City Manager
	Juliette Helsham	City Secretary

**Absent:** Jackeline Soriano Fountain Councilmember Place 3

**Consent Items:**

1. Council discussed and considered approving the minutes of the meeting held on May 12, 2020. Reider made the motion to approve as written. Seconded by McCann. All in favor. Motion approved 4-0.

**Presentations by Citizens:**

Lynda Nash, 3006 Sun Dance Drive, Harker Heights, Texas 76548, stated that the Harker Heights Food Bank at 906 South Ann Blvd. will be having a drive-thru/delivery service event on June 11<sup>th</sup> and they are desperately in need of volunteers. Ms. Nash requested that the City list the event on the City calendar to help recruit some volunteers.

Mayor Smith stated they have the information and that the City Manager would coordinate it.

**Old Business:**

1. Council discussed and considered approving an Ordinance of the City of Harker Heights, Texas, amending Ordinance 2020-06 of the Harker Heights Code to extend the Public Health Emergency Declaration through June 30, 2020. David Mitchell, City Manager, made the presentation. McCann made the motion to approve. Seconded by Blomquist. All in favor. Motion approved 4-0.

**Items from Council:**

Councilmember McCann stated that Dana Peak Park looks beautiful, people are getting out using their social distancing. McCann stated it is good to see people utilizing the Parks because it is gorgeous, and everything all around the City looks great.

Mayor Pro-tem Blomquist thanked the Fire Department and the Police Department for doing an outstanding job during these trying times. Blomquist also stated that he has read some articles in the newspaper about increased crime and theft and encouraged all citizens to make sure to lock their vehicles especially at night.

**Staff Reports:**

1. Council received and discussed the City Manager's Report. David Mitchell, City Manager made the presentation. No action taken.

**Adjournment:**

There being no further business the City of Harker Heights City Council Meeting was adjourned at 5:19 p.m.

---

Spencer H. Smith, Mayor

ATTEST:

---

Juliette Helsham, City Secretary



## COUNCIL MEMORANDUM

### AGENDA ITEM #VII-1

FROM: THE OFFICE OF THE CITY MANAGER

DATE: JUNE 9, 2020

**CONDUCT A PUBLIC HEARING TO DISCUSS AND CONSIDER APPROVING AN ORDINANCE OF THE CITY OF HARKER HEIGHTS, TEXAS, TO MODIFY THE CODE OF HARKER HEIGHTS CHAPTER 74, SCHEDULE V, BY ADDING THREE (3) STOP SIGNS AT THE PUEBLO TRACE AND PIMA TRAIL INTERSECTION, AND TAKE THE APPROPRIATE ACTION.**

**EXPLANATION:**

The new Killeen Independent School District (KISD) Middle School is scheduled to open this fall with an initial student population of 1,094 and a staff population of 100 members. The campus is located between Warriors Path and Pueblo Trace with entrances and exits on both roadways. With the anticipated increase in vehicular and pedestrian traffic, the Harker Heights Police Department recommends a four-way stop intersection at Pueblo Trace and Pima Trail. The four-way stop will provide a safe crosswalk for students entering and exiting the campus each day.

Currently, there is an existing stop sign on Pima Trail at Pueblo Trace. KISD has extended Pima Trail into their middle school campus which has created a four-way street intersection at Pueblo Trace and Pima Trail.

**RECOMMENDATIONS:**

Public Works and the Police Department recommend approving the ordinance.

**ACTION BY COUNCIL:**

1. Motion to approve/disapprove an Ordinance of the City of Harker Heights, Texas, to modify the Code of Harker Heights Chapter 74, Schedule V, by adding three (3) stop signs at the Pueblo Trace and Pima Trail intersection.
2. Any other action desired.

**ATTACHMENTS:**

1. Harker Heights Police Department Four-Way Stop Sign Recommendation
2. Ordinance
3. Power Point Presentation



# HARKER HEIGHTS POLICE DEPARTMENT

## TRAFFIC MANAGEMENT UNIT



### Memorandum

**To:** Mark Hyde

**From:** Lt. Stefek

**CC:** Cmdr Hawkins ; Chief Gadd

**Date:** May 26, 2020

**Re:** Four-Way Stop Sign Request at Pima / Pueblo

Mr. Hyde,

Killeen Independent School District is putting the finishing touches on the new middle school located on Warriors Path Road. This campus is expected to open next school year and is anticipated to have an initial student population of 1094 (total capacity is 1500) and a staff population of 100 members. The campus sits between Warriors Path Rd and Pueblo Trace here in Harker Heights with entrances and exits to the property on both roadways. Roadway construction is already taking place on Warriors Path Rd to aide in the increased traffic flow, however Pueblo Trace will remain a minor residential street.

Pueblo Trace currently has the right of way through the intersection of Pima Trail which is the intersection that traffic would enter and exit from the middle school at. Due to the expected increase in traffic caused by the middle school, I recommend the city be proactive and adopt a four-way stop sign placement at this intersection to help regulate traffic efficiently and effectively especially during peak traffic congestion hours. Painted crosswalks along with proper advanced warning signs for the crosswalks would be another recommendation at the intersection to allow safer roadway crossing by the middle school student population that will be walking to and from school each day.

Lastly, line of sight in all directions is important to maintain a low accident rate at intersections. This intersection currently has overgrown trees and shrubbery that needs to be trimmed back or removed to allow for optimal visibility in all directions.

I have attached a map of the middle school campus which contains the proposed flow of traffic on and off campus to help better understand and qualify the need for the four-way stop intersection.

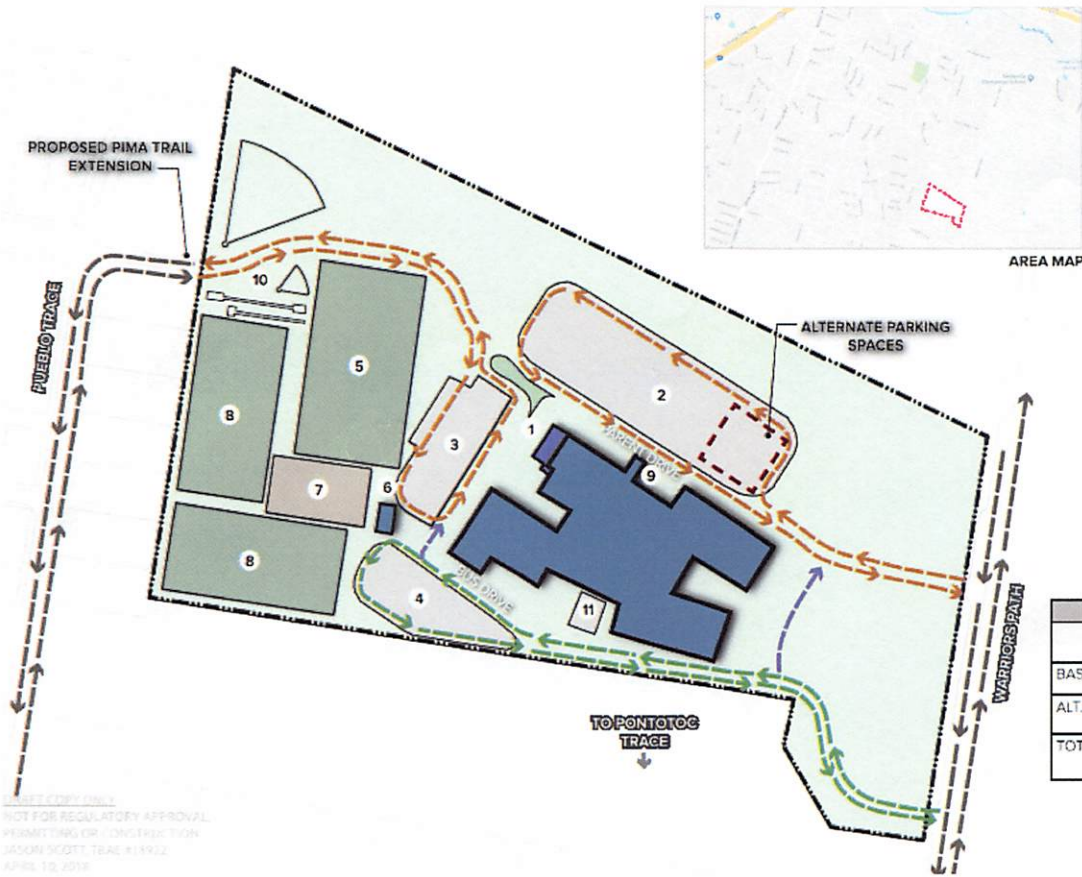
Thank you for your consideration on this matter. If there is anything else needed to assist this project, please contact me directly.

Thank You,

Lt. Randy Stefek







#### CIRCULATION TYPE LEGEND

- ← - - - PUBLIC ACCESS
- ← - - - PARENT/EVENT ROUTE
- ← - - - BUS/EVENT ROUTE
- ← - - - FIRE LANE

- 1 FINE ARTS ALTERNATE
- 2 VISITOR PARKING (208) PARKING SPACES
- 3 STAFF/EVENT PARKING (87) PARKING SPACES
- 4 STAFF/EVENT PARKING (49) PARKING SPACES
- 5 FOOTBALL/SOCCER FIELD
- 6 CONCESSIONS/RESTROOMS
- 7 TENNIS COURT
- 8 PRACTICE FIELD
- 9 MAIN ENTRY
- 10 FIELD EVENTS
- 11 KITCHEN PARKING (7) PARKING SPACES

PARKING ANALYSIS		
	ROY J SMITH (MS #13)	MS #14
BASE PARKING	293	293
ALT. PARKING		58
TOTAL PARKING	293	351 (20% INCREASE)

#### SITE CIRCULATION - OPTION B

TWO-WAY TRAFFIC FROM PIMA TRAIL AND WARRIORS PATH

NOT FOR REGULATORY APPROVAL  
 PERMITTING OR CONSTRUCTION  
 JASON SCOTT TRAIL #11902  
 APRIL 19, 2018

**ORDINANCE NO. 2020-21**

**STATE OF TEXAS**

**COUNTY OF BELL**

**CITY OF HARKER HEIGHTS**

**AN ORDINANCE OF THE CITY OF HARKER HEIGHTS, TEXAS, MODIFYING THE CODE OF HARKER HEIGHTS CHAPTER 74, SCHEDULE V, BY ADDING THREE (3) STOP SIGNS AT THE PUEBLO TRACE AND PIMA TRAIL INTERSECTION.**

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF HARKER HEIGHTS, TEXAS:

**SECTION 1.**

Schedule V, Chapter 74, Code of Harker Heights, is hereby amended by adding the following stop signs:

<i><b>Street</b></i>	<i><b>Cross-Street</b></i>	<i><b>Traffic Flow</b></i>	<i><b>Ord. No.</b></i>	<i><b>Date Passed</b></i>
Pueblo Trace	Pima Trail	North	2020-21	06-09-2020
Pueblo Trace	Pima Trail	South	2020-21	06-09-2020
Pima Trail	Pueblo Trace	West	2020-21	06-09-2020

**SECTION 2. PASSED AND APPROVED AT A REGULAR MEETING OF THE CITY COUNCIL OF THE CITY OF HARKER HEIGHTS, TEXAS, THIS 9th DAY OF JUNE 2020, AT WHICH MEETING A QUORUM WAS PRESENT, HELD IN ACCORDANCE WITH THE PROVISIONS OF TEXAS GOVERNMENT CODE, CHAPTER 551.**

\_\_\_\_\_  
Spencer H. Smith, Mayor  
City of Harker Heights

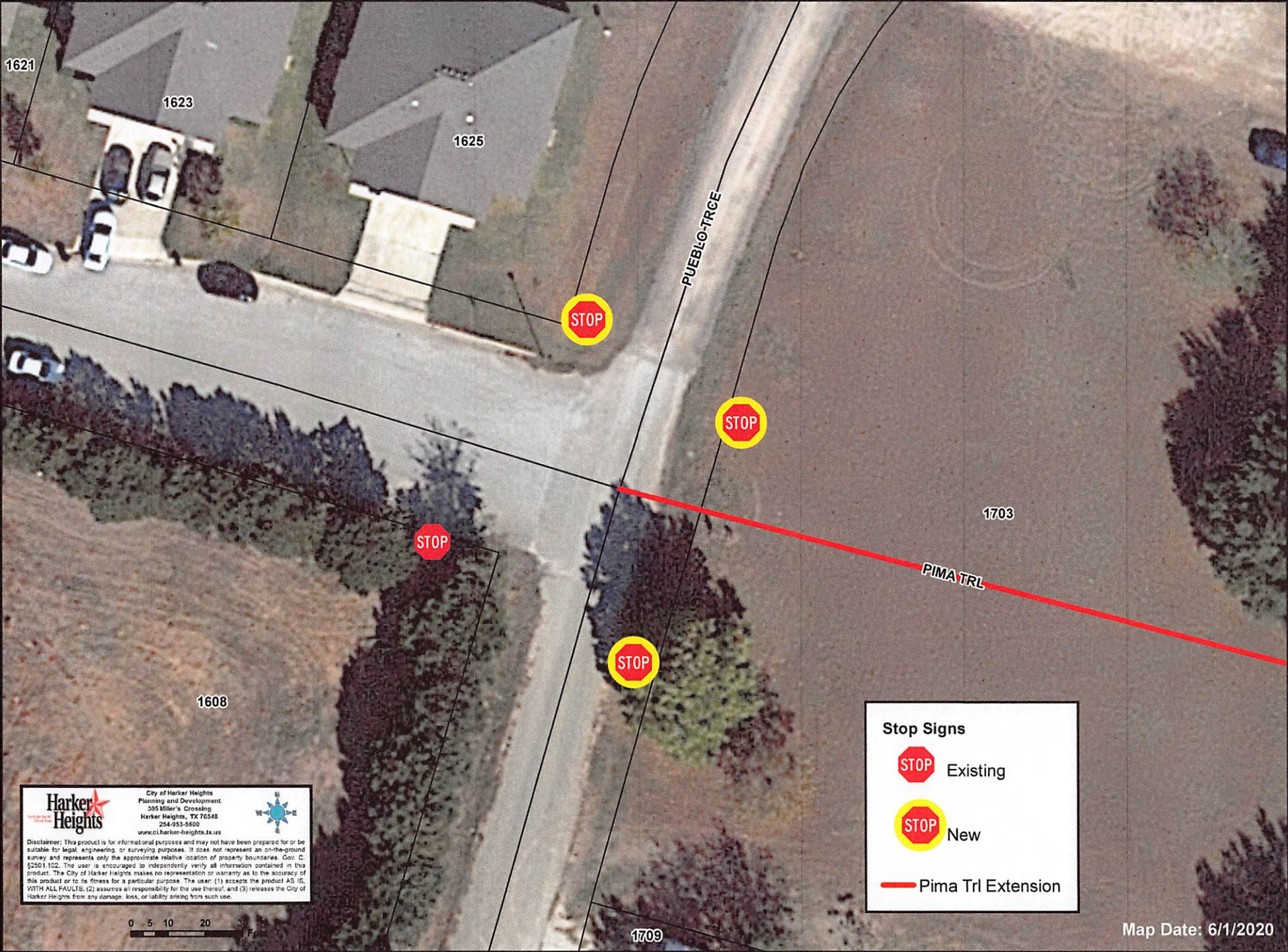
ATTEST:

\_\_\_\_\_  
Juliette Helsham, City Secretary  
City of Harker Heights



# New Stop Signs Pima and Pueblo

# Location Map







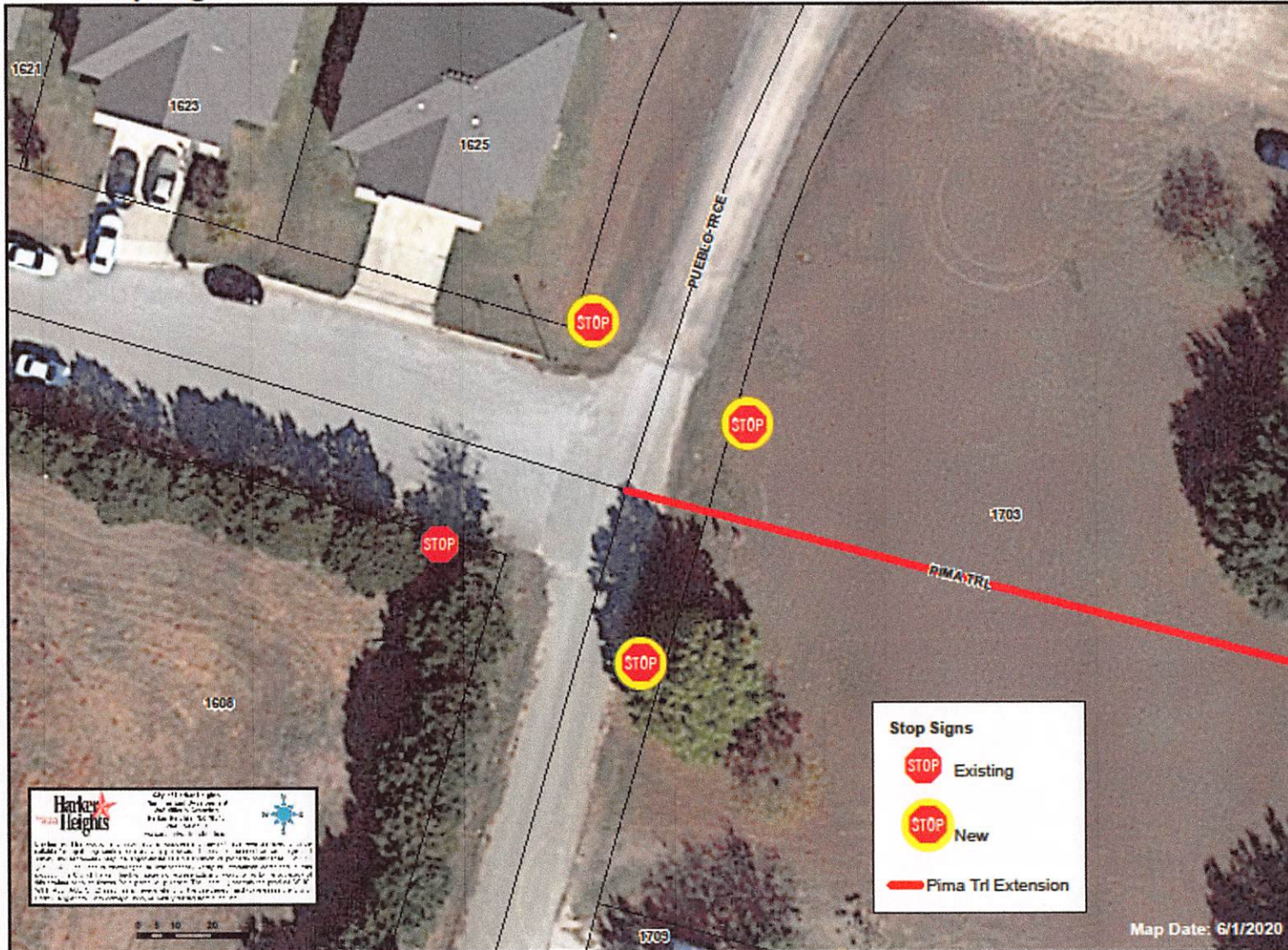
# City Council Meeting June 9, 2020





## New Stop Signs Pima and Pueblo

## Location Map





# Pueblo Trace/Pima Trail



# Pueblo Trace/Pima Trail





**Z20-08**

**AGENDA ITEM VII-2**

FROM: THE OFFICE OF THE CITY MANAGER

DATE: JUNE 9, 2020

CONDUCT A PUBLIC HEARING TO DISCUSS AND CONSIDER APPROVING AN ORDINANCE OF THE CITY OF HARKER HEIGHTS, TEXAS, TO CHANGE THE ZONING DESIGNATION FROM R-1 (ONE FAMILY DWELLING DISTRICT) TO R1-R (RURAL ONE FAMILY DWELLING DISTRICT) ON PROPERTY DESCRIBED AS TRACT 20, LAKESIDE HILLS, SECTION TWO, A SUBDIVISION IN BELL COUNTY, ACCORDING TO THE PLAT OF RECORD IN CABINET A, SLIDE 43-C, PLAT RECORDS OF BELL COUNTY, TEXAS, CONTAINING 6.11 ACRES, GENERALLY LOCATED AT 10518 MEADOW CIRCLE, HARKER HEIGHTS, BELL COUNTY, TEXAS, AND TAKE THE APPROPRIATE ACTION.

**BACKGROUND:**

The applicant is requesting a change from the current zoning of R-1 (One-Family Dwelling District) to R1-R (Rural One-Family Dwelling District) on property described as Tract 20, Lakeside Hills, Section Two, a subdivision in Bell County, according to the plat of record in cabinet A, Slide 43-C, Plat Records of Bell County, Texas, containing 6.11 acres, generally located at 10518 Meadow Circle, Harker Heights, Bell County, Texas.

The property consists of approximately six (6) acres of vacant land and the applicant is aware that a primary residence must occupy the property for an accessory structure of any size to exist. The request will enable the applicant to build a primary residence along with a shop building and the potential for chickens and goats with their necessary enclosures. As outlined within the R1-R zoning district, the following requirements must be met:

§155.021 (3) (a) (1-3)

1. The number of accessory buildings shall not exceed one per acre.
2. Accessory buildings shall be no greater than 5,000 square feet in size.
3. The maximum aggregate square footage of all accessory buildings shall not exceed 1,000 square feet per acre and not to exceed a total of 10,000 square feet on any one tract.



**Surrounding Land Uses**

Adjacent land uses include:

	<b>Existing Land Use</b>	<b>Future Land Use</b>	<b>Zoning</b>
<b>North</b>	Extraterritorial Jurisdiction Vacant	Extraterritorial Jurisdiction	Extraterritorial Jurisdiction
<b>South</b>	Single Family	Single Family	R-1 (One Family Dwelling District)
<b>East</b>	Extraterritorial Jurisdiction Residential (Colinas Del Lago)	Extraterritorial Jurisdiction	Extraterritorial Jurisdiction
<b>West</b>	Single Family	Single Family	R-1 (One Family Dwelling District)

The applicant's property is in an area designated as Single Family Residential. The proposed use of the property will not affect the property's use as a single-family residence. The proposed rezoning will not alter the character of the established single-family subdivision. A survey of the area identified most of the properties in the neighborhood are comprised of large lots and a property to the west along High Oak Dr. obtained R1-R zoning designation in 2013. Staff therefore believes the proposed rezoning with its intended use will not likely have any adverse impacts on the neighborhood and would be consistent with the 2007 City of Harker Heights Comprehensive Plan.

**Flood Damage Prevention:**

No portion of this property lies within the 100-year or 500-year flood hazard areas.

**Notices:**

Staff sent out fourteen (14) notices to property owners within the 400-foot notification area. Zero (0) responses were received in favor of the request, and zero (0) responses were received in opposition of the request.

**RECOMMENDATION:**

Staff recommends approval of an Ordinance to change zoning designation from R-1 (One Family Dwelling District) to R1-R (Rural One Family Dwelling District) on property described as Tract 20, Lakeside Hills, Section Two, a subdivision in Bell County, according to the plat of record in Cabinet A, Slide 43-C, plat records of Bell County, Texas, containing 6.11 acres, generally located at 10518 Meadow Circle, Harker Heights, Bell County, Texas, based on the following;

1. The rezoning request is consistent with the Future Land Use Plan.
2. The proposed use would not likely have any adverse impacts on adjoining uses.

**ACTION TAKEN BY THE PLANNING AND ZONING COMMISSION:**

Following a public hearing held on May 27, 2020, the Planning and Zoning Commission voted (6-0) to recommend approval of an ordinance to change zoning designation from R-1 (One Family Dwelling District) to R1-R (Rural One Family Dwelling District) on property described as Tract 20, Lakeside Hills, Section Two, a subdivision in Bell County, according to the plat of record in Cabinet A, Slide 43-C, plat records of Bell County, Texas, containing 6.11 acres, generally located at 10518 Meadow Circle, Harker Heights, Bell County, Texas, based on staff's recommendation and findings.

**ACTION BY THE CITY COUNCIL:**

1. Motion to APPROVE/DENY an Ordinance to change zoning designation from R-1 (One Family Dwelling District) to R1-R (Rural One Family Dwelling District) on property described as Tract 20, Lakeside Hills, Section Two, a subdivision in Bell County, according to the plat of record in Cabinet A, Slide 43-C, plat records of Bell County, Texas, containing 6.11 acres, generally located at 10518 Meadow Circle, Harker Heights, Bell County, Texas, based on staff's recommendation and findings.
2. Any other action deemed necessary.

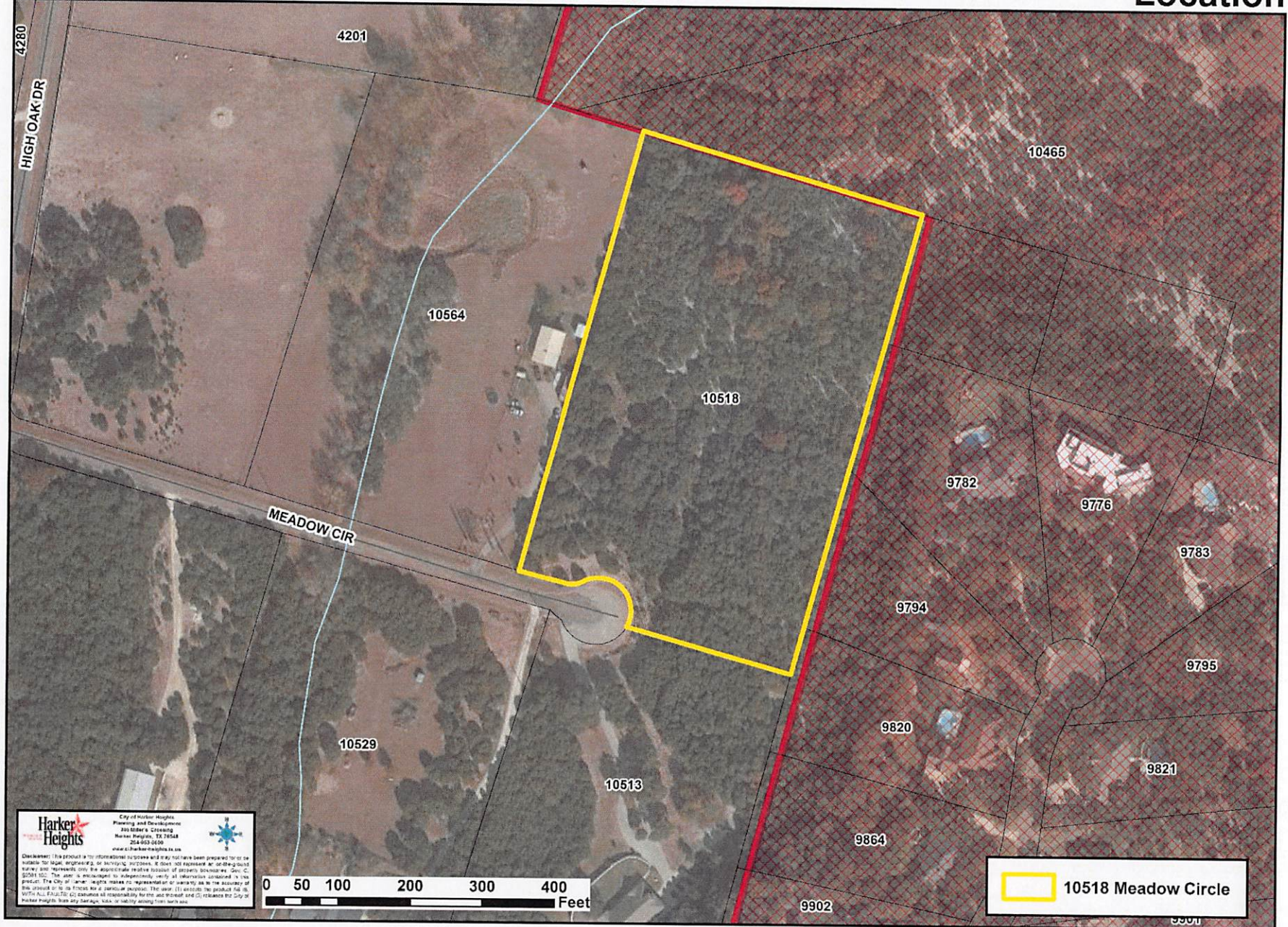
**ATTACHMENTS:**

1. PowerPoint Presentation
2. Ordinance
3. Application
4. Location Map
5. Zoning Map
6. Existing Land Use Map
7. Future Land Use Map
8. Notification Area Map



Z20-08

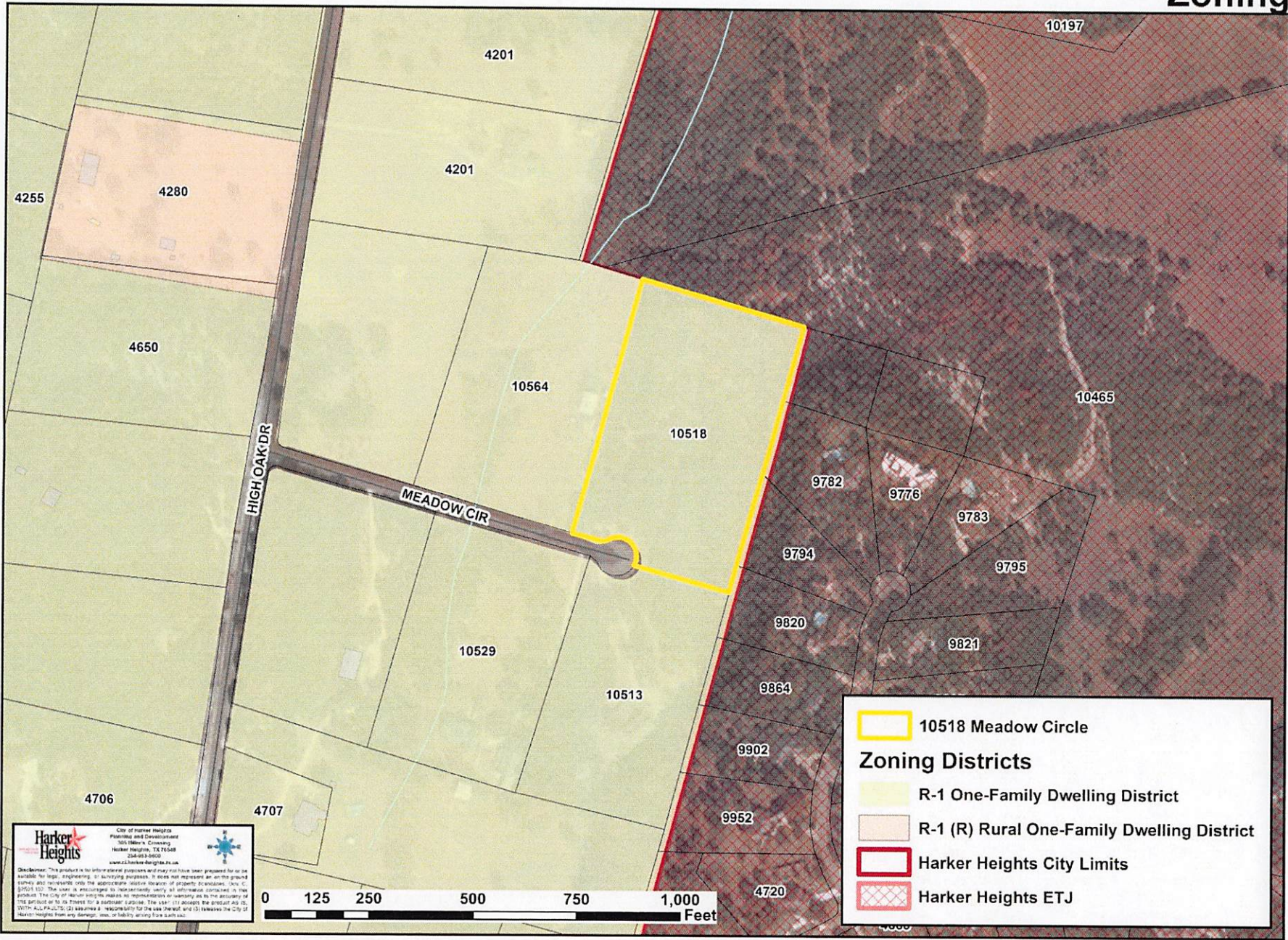
Location







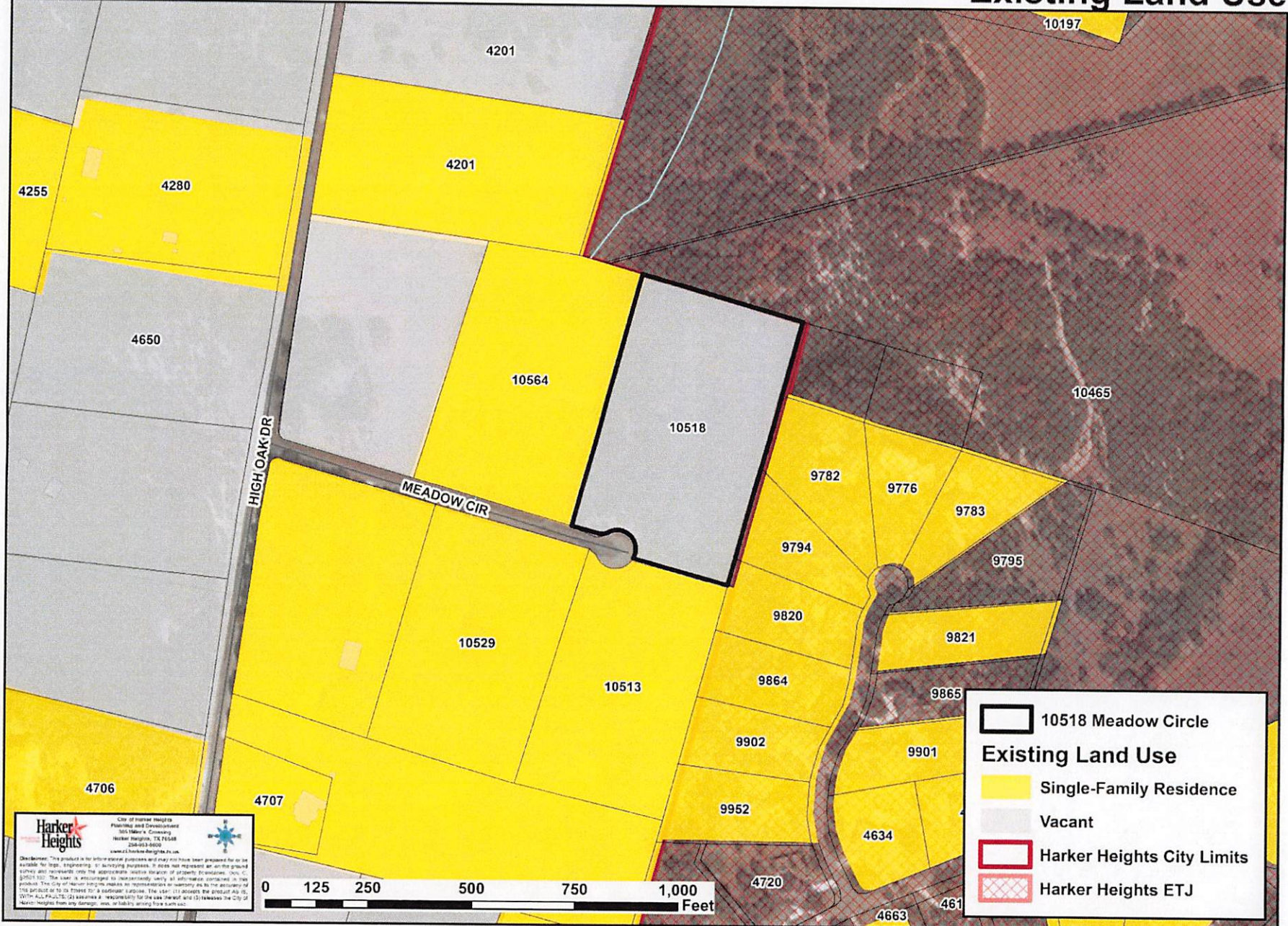






Z20-08

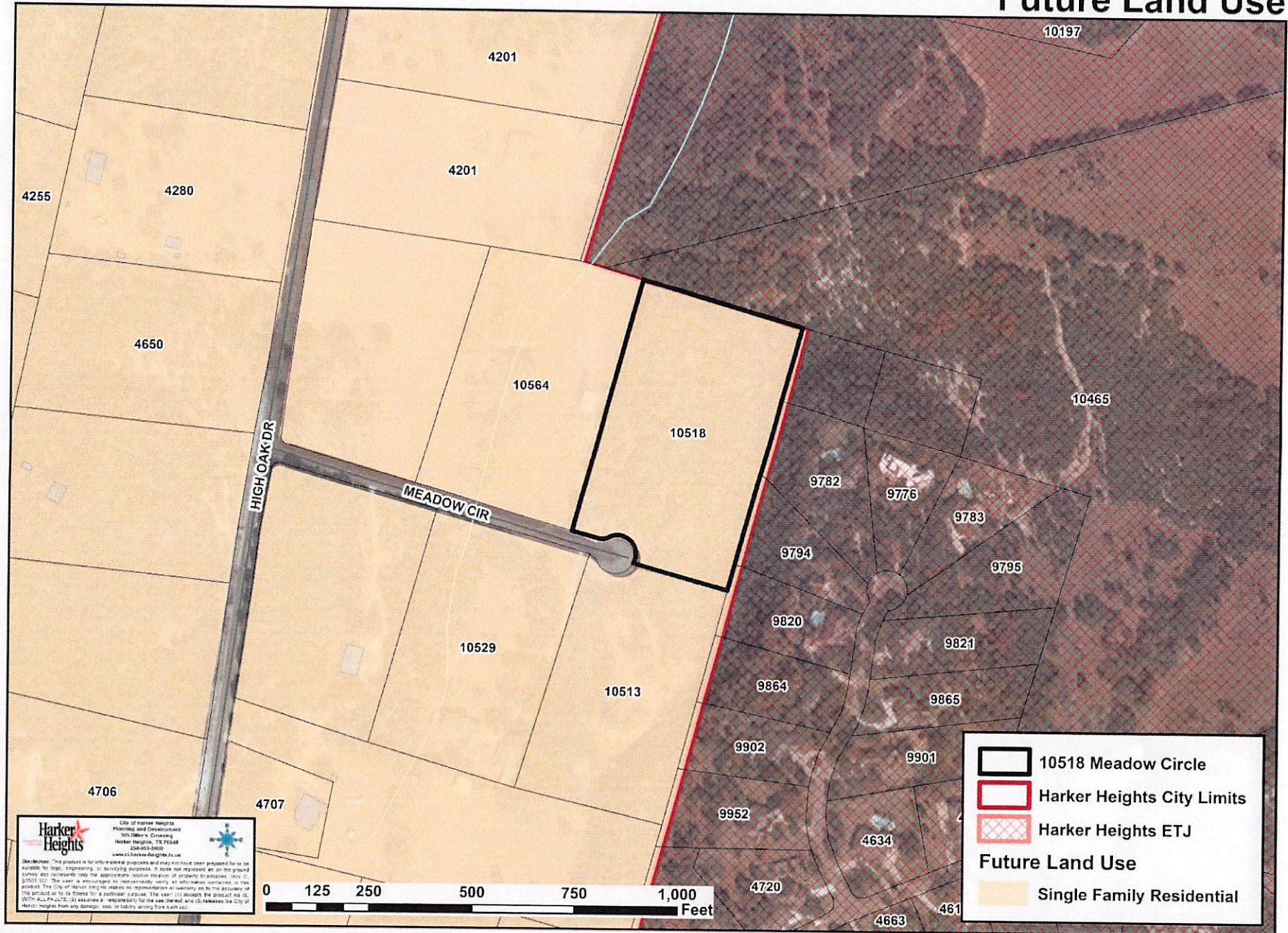
# Existing Land Use





Z20-08

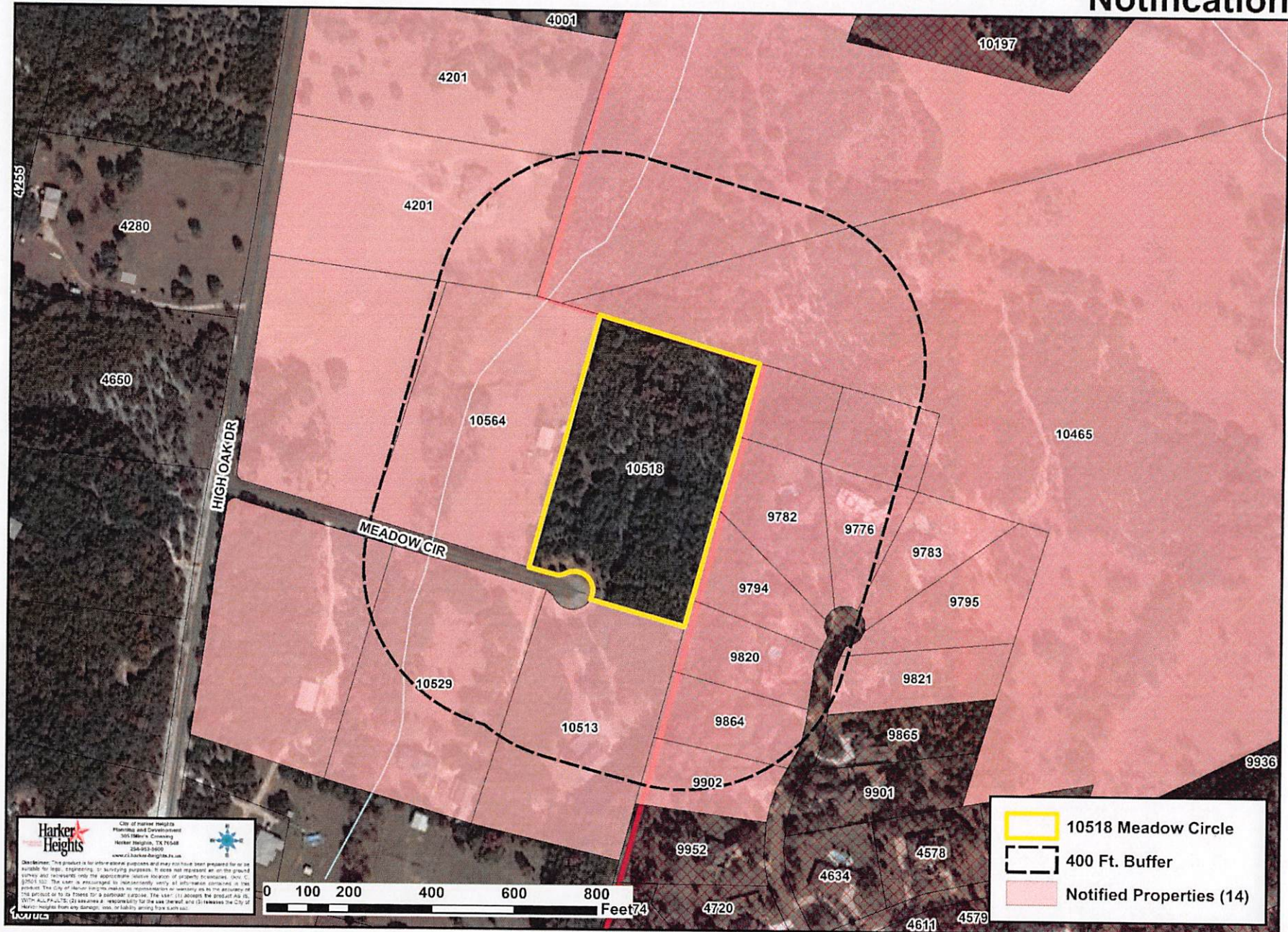
# Future Land Use





**Z20-08**

## Notification





ORDINANCE NO. \_\_\_\_\_

**AN ORDINANCE OF THE CITY OF HARKER HEIGHTS, TEXAS, GRANTING R1-R ZONING ON PROPERTY LOCATED AT 10518 MEADOW CIRCLE, HARKER HEIGHTS, BELL COUNTY, TEXAS.**

**WHEREAS**, the City Council ("**Council**") of the City of Harker Heights ("**City**") finds that after due notice and public hearings as required by law, and after consideration of the recommendation of the Planning and Zoning Commission, it is necessary and desirable to amend the Code of Harker Heights ("**Code**") as hereinafter provided; and

**WHEREAS**, the meeting at which this Ordinance was passed was open to the public, and notice of the time, place and purpose of said meeting was given as required by law, all in strict accordance with the requirements of the Texas Open Meetings Act;

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF HARKER HEIGHTS, TEXAS:**

**SECTION 1:** The Council officially finds and declares that the facts and recitations set forth in the preamble to this Ordinance are true and correct.

**SECTION 2:** The hereinafter-described property, as previously zoned R-1 (One-Family Dwelling District) is rezoned to R1-R (Rural One-Family Dwelling District):

Tract 20, Lakeside Hills, Section Two, a subdivision in Bell County, according to the plat of record in Cabinet A, Slide 43-C, plat records of Bell County, Texas, containing 6.11 acres

**SECTION 3:** Table VII, Table of Special Ordinances, of the Code is hereby supplemented by adding the following entry:

<u>Ord. No.</u>	<u>Date Passed</u>	<u>Description</u>
	06/06/20	Granting R1-R zoning on property described as Tract 20, Lakeside Hills, Section Two, a subdivision in Bell County, according to the plat of record in Cabinet A, Slide 43-C, plat records of Bell County, Texas, containing 6.11 acres, generally located at 10518 Meadow Circle, Harker Heights, Bell County, Texas.

**SECTION 4:** All ordinances or parts of ordinances in conflict with the provisions of this Ordinance are to the extent of such conflict hereby repealed.



**SECTION 5:** This Ordinance shall be effective from and after its passage, and the City Clerk shall publish the caption or title of hereof within ten days as required by law.

**PASSED AND APPROVED** on June 9, 2020

---

Spencer H. Smith, Mayor

ATTEST:

---

Juliette Helsham, City Secretary



City of Harker Heights  
Planning & Development  
305 Millers Crossing  
Harker Heights, TX 76548  
Phone: (254) 953-5647

# Rezoning Request Application

**\*Requirements - MUST BE COMPLETE OR WILL NOT BE ACCEPTED\***

This application must be completed and returned to the Planning and Development Department of the City of Harker Heights, Texas along with the following:

1. Pre-Application Meeting Scheduled
2. Payment of \$200.00 to the City of Harker Heights

Property Owner(s) Name: Justin and Kristina Carter

Date: April 29, 2020

Address: 2524 Jackson Drive

City/State/Zip: Harker Heights, TX 76548

Phone: [REDACTED]

E-mail: [REDACTED]

## Legal Description of Property:

Location of Property (Address if available): 10518 Meadow Circle

Lot: Lot Tract 20

Block: NA

Subdivision: Lakeside Hills Section Two

Acres: 6.11

Property ID: 106,952

Survey: NA

*For properties not in a recorded subdivision please submit a copy of a current survey showing the property's proposed to be changed, and/or legal field notes.*

Proposed Use: Will be our primary residence. We would like to build a shop and possibly enclosures to house chickens and goats.

Current Zoning Classification: R-1 One Family Dwelling District

Proposed Zoning: R1-R Rural One Family Dwelling District

Current Land Use: Currently an empty lot

Proposed Land Use: Single Family Residential

## Applicant's Representative (if applicable):

Applicant's Representative: NA

Phone: NA

E-Mail: NA

I, being the undersigned applicant of the property herein described, hereby make application for approval of plans submitted and made a part of the application in accordance with the provisions of the City of Harker Heights Ordinances, and hereby certify that the information provided is true and correct to the best of my knowledge and belief.

I, being the undersigned applicant, understand that failure to appear to represent a request shall be deemed a request to withdraw the proposal, or \_\_\_\_\_ will represent the owner.

Justin Carter / Kristina Carter

Justin Carter Kristina Carter

Printed Name of Property Owner

[Signature] Kristina Carter  
Signature of Property Owner

Printed Name of Representative

Signature of Representative

Date Submitted: 4/29/2020

STAFF ONLY - DO NOT FILL OUT BELOW

☒ Pre-Application Meeting

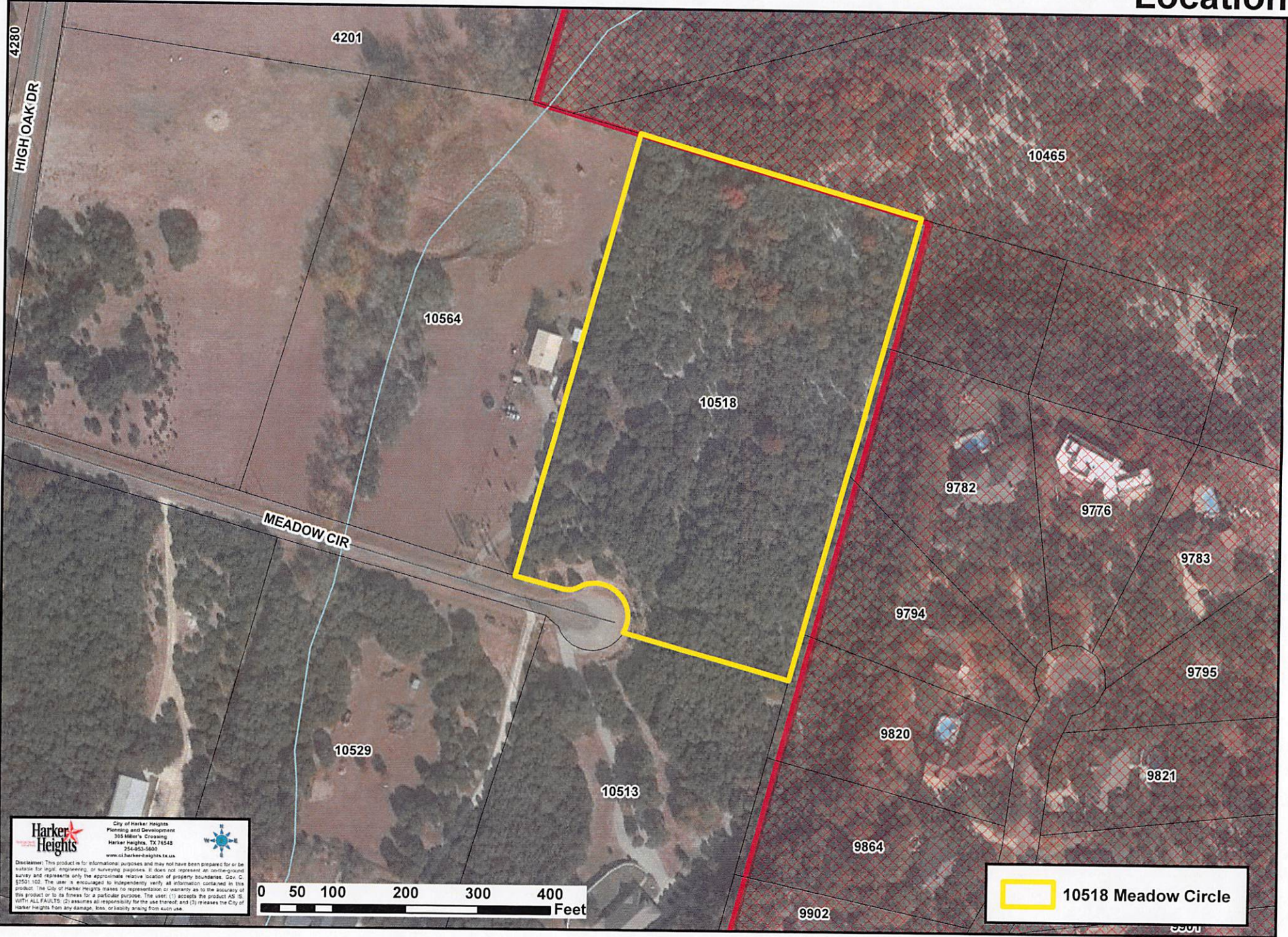
Receipt #: 01572018

Received By: [Signature]

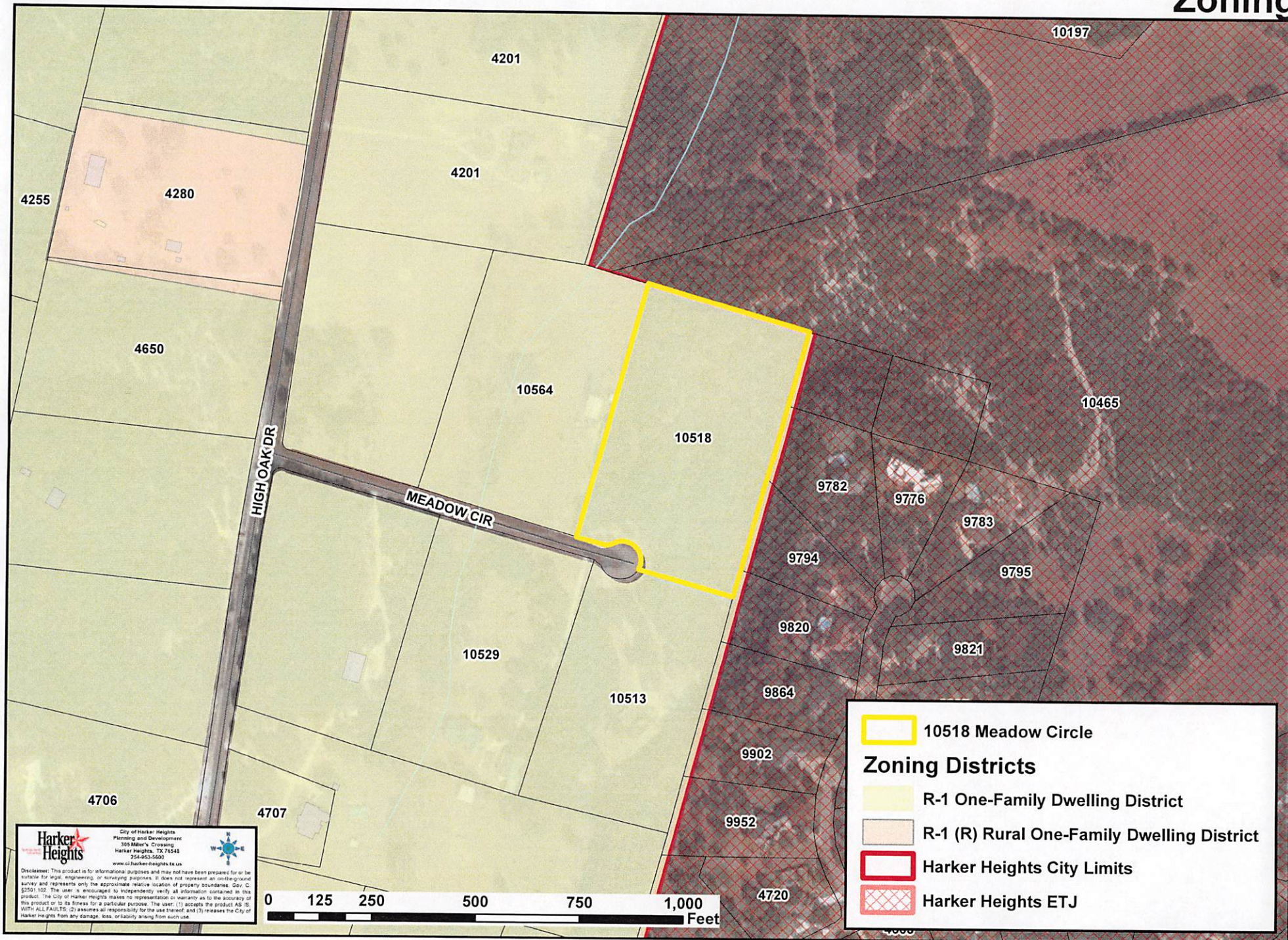
Revised: 2/28/18

Case #: 220-08

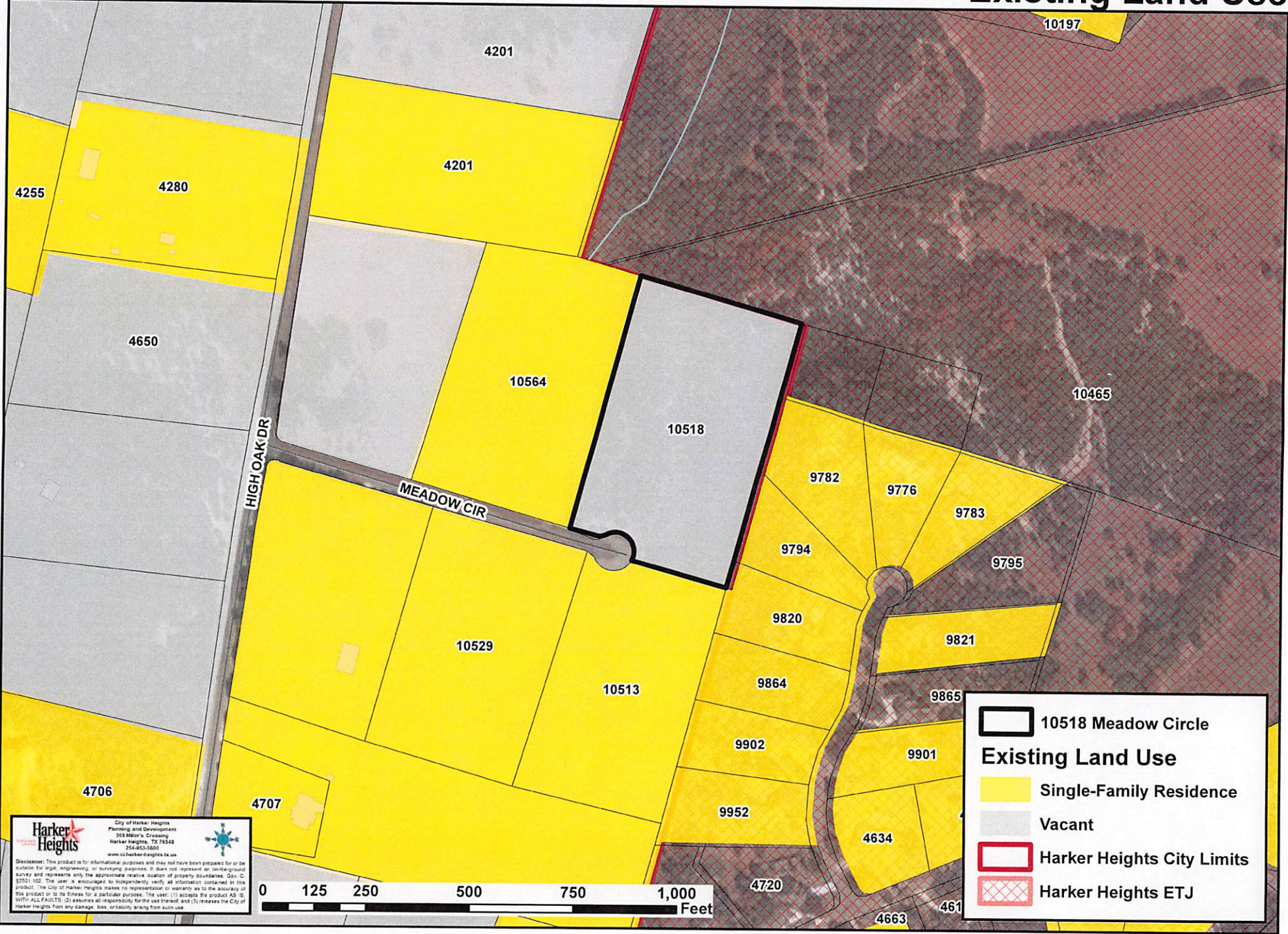




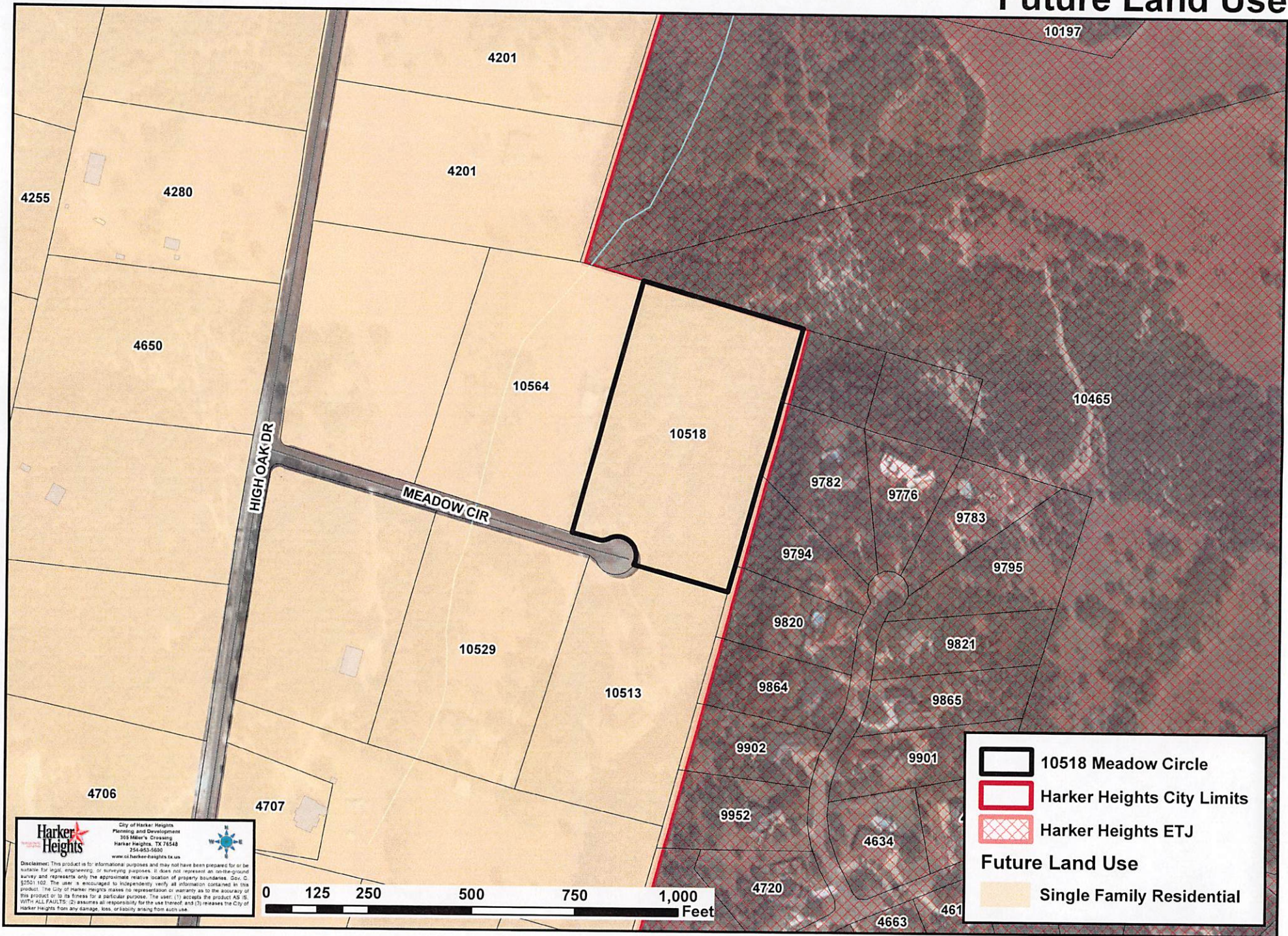




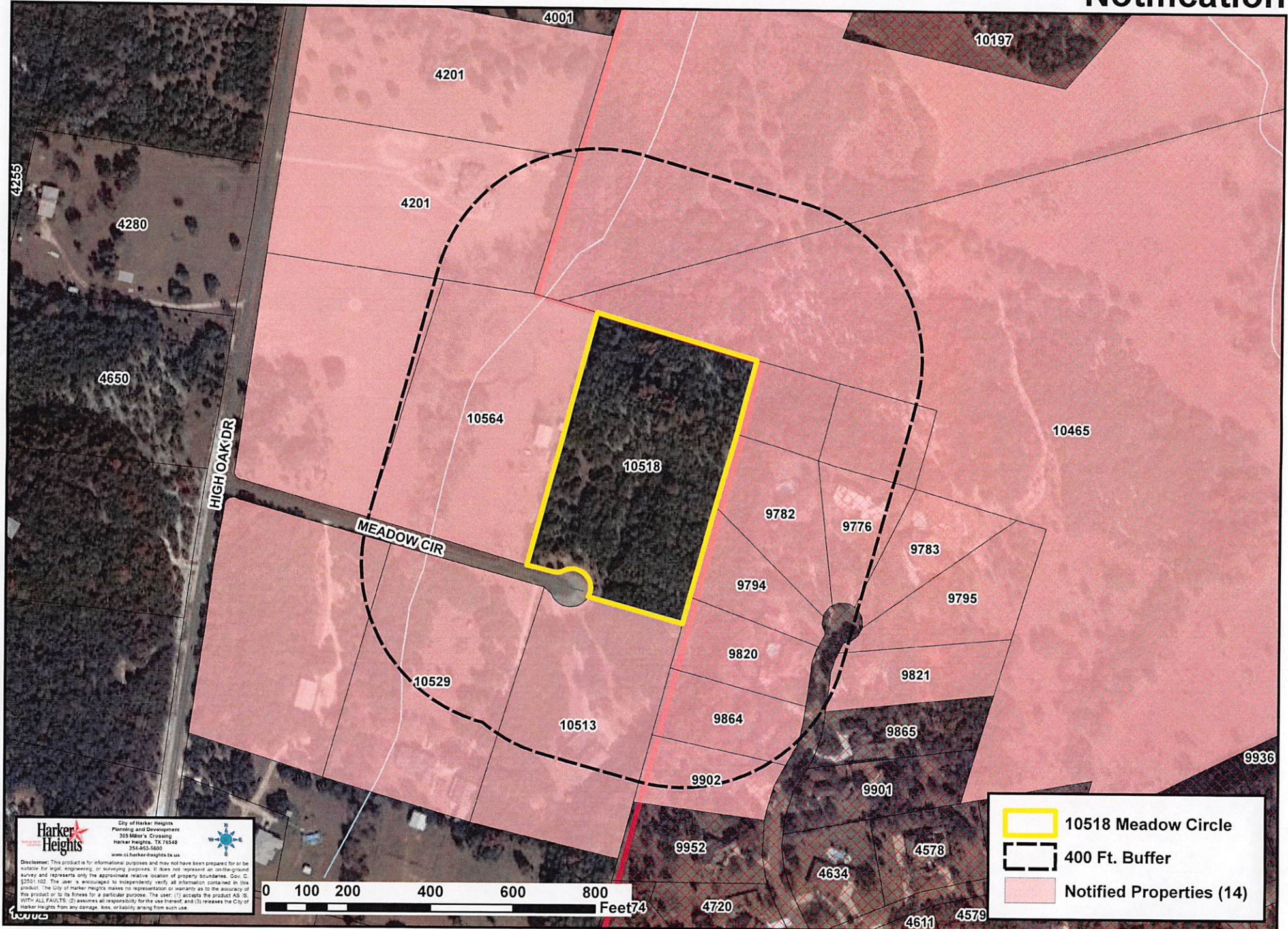
















## CITY COUNCIL MEMORANDUM

**Z20-09**

**AGENDA ITEM VII-3**

FROM: THE OFFICE OF THE CITY MANAGER

DATE: JUNE 9, 2020

CONDUCT A PUBLIC HEARING TO DISCUSS AND CONSIDER APPROVING AN ORDINANCE OF THE CITY OF HARKER HEIGHTS, TEXAS, TO CHANGE THE ZONING DESIGNATION FROM R-3 (MULTI-FAMILY DWELLING DISTRICT) TO R2-I (TWO FAMILY INFILL DWELLING DISTRICT) ON PROPERTY DESCRIBED AS LOTS ONE (1) THROUGH FIVE (5), BLOCK THREE (3), KERN TERRACE SECOND EXTENSION, HARKER HEIGHTS, PER PLAT OF RECORD IN CABINET A, SLIDE 225-A, PLAT RECORDS OF BELL COUNTY, TEXAS, AND 1.241 ACRES OUT OF THE V.L. EVANS SURVEY, ABSTRACT 288, GENERALLY LOCATED SOUTHWEST OF THE INTERSECTION OF JAMIE ROAD AND NORTH MARY JO DRIVE, CURRENTLY ADDRESSED AS 200, 202, 204, 206, AND 208 JAMIE ROAD, AND 200 JAN CIRCLE, HARKER HEIGHTS, BELL COUNTY, TEXAS, AND TAKE THE APPROPRIATE ACTION.

**BACKGROUND:**

On September 10, 2019, the City Council approved a rezoning of the property by the previous owner from a combination of R-MH (Manufactured Home Park District) and R-1(M) (One-Family Manufactured Home Dwelling District) to R-3 (Multi-Family Dwelling District) with the intention to develop a modular apartment complex. Since that time, the property has been sold to another buyer who seeks to develop the property in a different manner than previously approved.

The applicant and current property owner, Mark Mayoras, of Soldiers First is requesting a change from the current zoning of R-3 (Multi Family Dwelling District) to R2-I (Two Family Infill Dwelling District). The property consists of approximately 2.48 acres of vacant land; what was previously a mobile home park. The request will enable the applicant to construct duplexes on a minimum 6,000 square foot lot. The applicant has proposed ten (10) lots and a total of 20 dwelling units.

**Surrounding Land Uses:**

Adjacent land uses include:

	Existing Land Use	Future Land Use	Zoning
North	Vacant	Mixed Residential	R2-I (Two Family Infill Dwelling District)
South	Vacant	Commercial/Mixed Residential	B-4/R-1(M) Secondary Highway Bus./ One-Family Manufactured Dwelling
East	Duplex	Mobile Home Park	R2-I
West	Vacant	Commercial/Mixed Residential	R2-I/R-3 (Multi-Family)



The applicant's property is in an area designated as Mixed Residential (MR) to allow for single family housing, duplex housing and manufactured homes. Per the 2007 Comprehensive Plan, two-family dwellings are an acceptable replacement for aging manufactured housing or for new development in areas zoned appropriately for such within the City. The proposed rezoning from R-3 to R2-I will allow for the construction of duplexes and therefore, the proposed rezoning and intended use would be consistent with the 2007 City of Harker Heights Comprehensive Plan and Future Land Use Map. Staff has not identified any critical issues with the potential use that would negatively affect the health, safety, or general welfare of the City.

**Flood Damage Prevention:**

No portion of this property lies within the 100-year or 500-year flood hazard areas.

**Notices:**

Staff sent out fourteen (14) notices to property owners within the 400-foot notification area. Zero (0) responses were received in favor of the request, and zero (0) responses were received in opposition of the request.

**RECOMMENDATION:**

Staff recommends approval of an ordinance to change zoning designation from R-3 (Multi-Family Dwelling District) to R2-I (Two Family Infill Dwelling District) on property described as Lots One (1) through Five (5), Block Three (3), Kern Terrace Second Extension, Harker Heights, per plat of record in Cabinet A, Slide 225-A, Plat Records of Bell County, Texas, and 1.241 Acres out of the V.L. Evans Survey, Abstract 288, generally located southwest of the intersection of Jamie Road and North Mary Jo Drive, currently addressed as 200, 202, 204, 206, and 208 Jamie Road, and 200 Jan Circle, Harker Heights, Bell County, Texas, based on the following:

1. The proposed use and rezoning are compatible with existing uses in the area.
2. The proposed use and rezoning would not likely have any adverse impact on adjoining uses and zoning districts.

**ACTION TAKEN BY THE PLANNING AND ZONING COMMISSION:**

Following a public hearing on May 27, 2020, the Planning and Zoning Commission voted (6-0) to recommend approval of an ordinance to change zoning designation from R-3 (Multi-Family Dwelling District) to R2-I (Two Family Infill Dwelling District) on property described as Lots One (1) through Five (5), Block Three (3), Kern Terrace Second Extension, Harker Heights, per plat of record in Cabinet A, Slide 225-A, Plat Records of Bell County, Texas, and 1.241 Acres out of the V.L. Evans Survey, Abstract 288, generally located southwest of the intersection of Jamie Road and North Mary Jo Drive, currently addressed as 200, 202, 204, 206, and 208 Jamie Road, and 200 Jan Circle, Harker Heights, Bell County, Texas, based on staff's recommendation and findings.

**ACTION BY THE CITY COUNCIL:**

1. Motion to APPROVE/DENY of an Ordinance to change zoning designation from R-3 (Multi-Family Dwelling District) to R2-I (Two Family Infill Dwelling District) on property described as Lots One (1) through Five (5), Block Three (3), Kern Terrace Second Extension, Harker Heights, per plat of record in Cabinet A, Slide 225-A, Plat Records of Bell County, Texas, and 1.241 Acres out of the V.L. Evans Survey, Abstract 288, generally located southwest of the intersection of Jamie Road and North Mary Jo Drive, currently addressed as 200, 202, 204, 206, and 208 Jamie Road, and 200 Jan Circle, Harker Heights, Bell County, Texas, based on staff's recommendation and findings.
2. Any other action deemed necessary.

**ATTACHMENTS:**

1. PowerPoint Presentation
2. Ordinance
3. Application
4. Location Map
5. Existing Land Use Map
6. Zoning Map
7. Future Land Use Map
8. Notification Area Map



Z20-09

Location





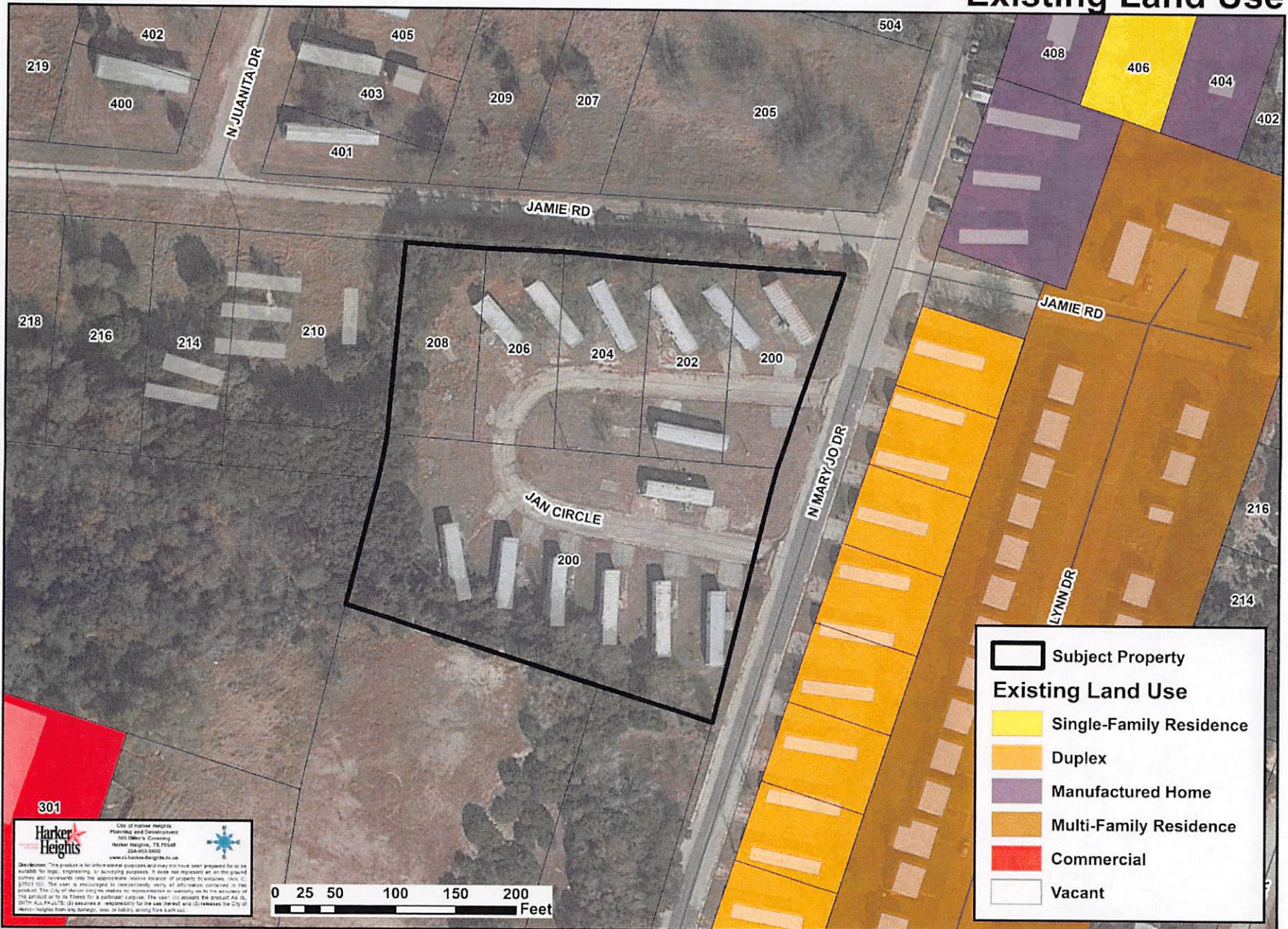


**Jan Circle**



Z20-09

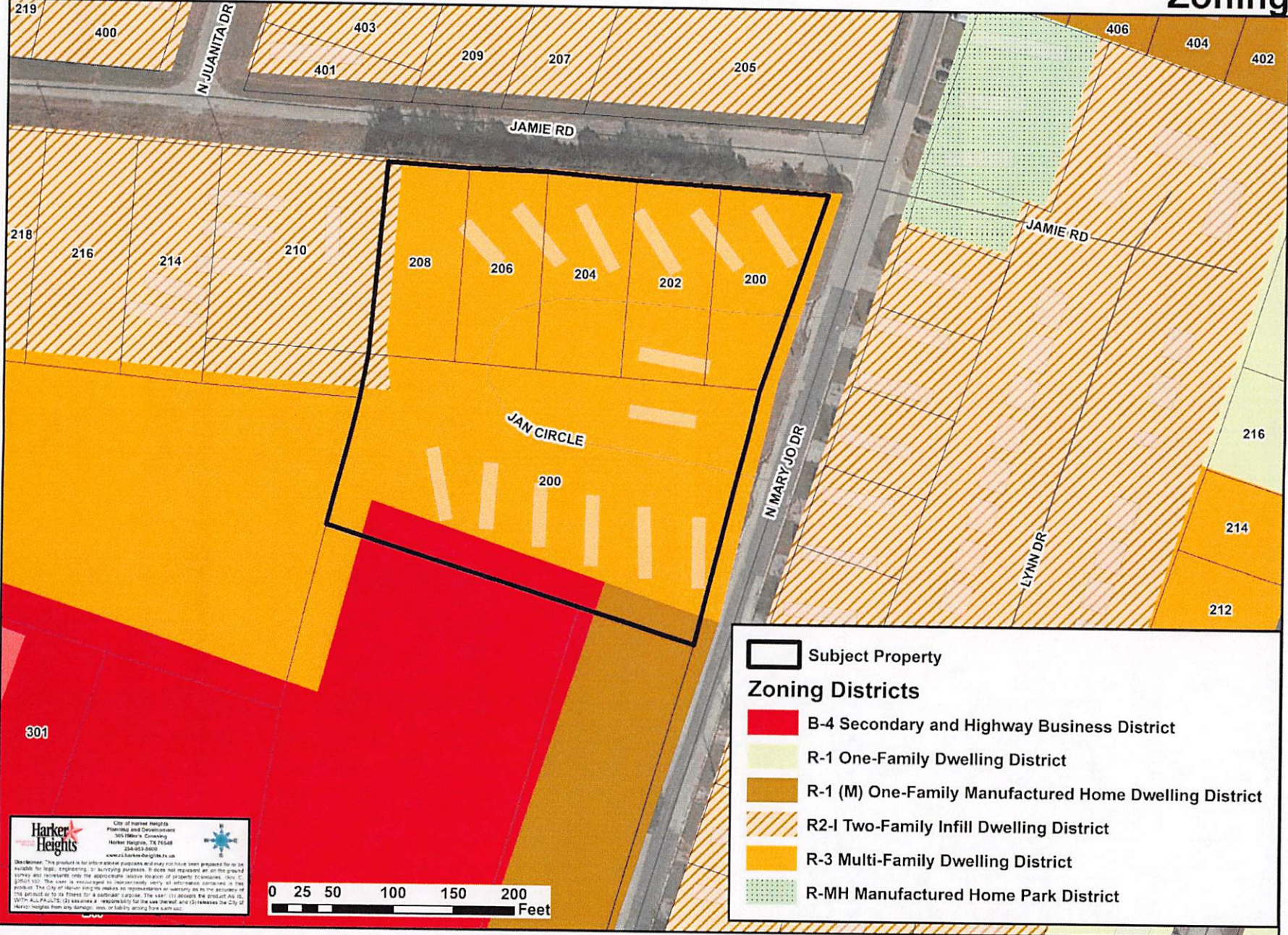
# Existing Land Use





# Z20-09

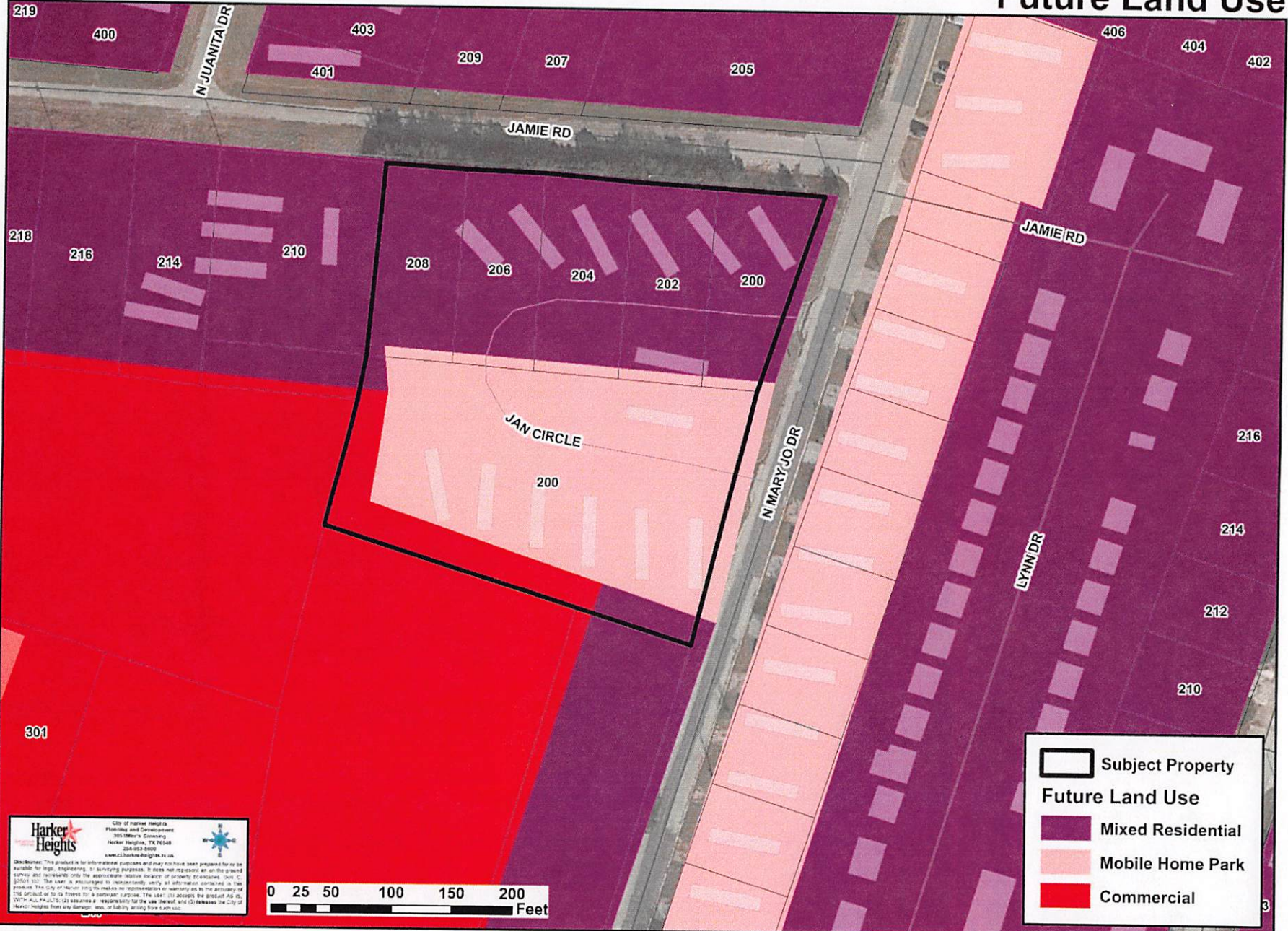
# Zoning





Z20-09

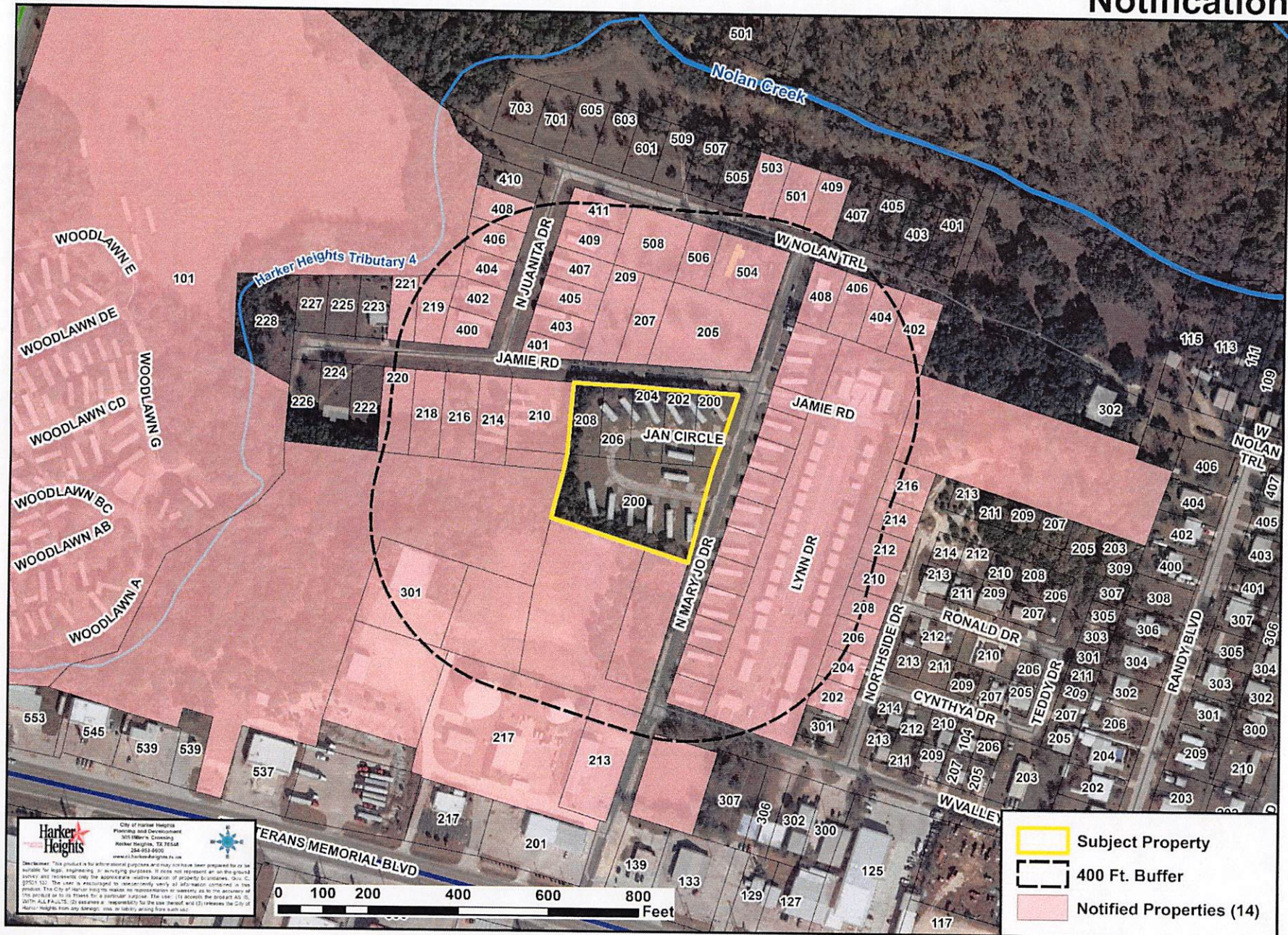
# Future Land Use





Z20-09

# Notification





ORDINANCE NO. \_\_\_\_\_

AN ORDINANCE OF THE CITY OF HARKER HEIGHTS, TEXAS, GRANTING R2-I (TWO FAMILY INFILL DWELLING DISTRICT) ON PROPERTY DESCRIBED AS LOTS ONE (1) THROUGH FIVE (5), BLOCK THREE (3), KERN TERRACE SECOND EXTENSION, HARKER HEIGHTS, PER PLAT OF RECORD IN CABINET A, SLIDE 225-A, PLAT RECORDS OF BELL COUNTY, TEXAS, AND 1.241 ACRES OUT OF THE V.L. EVANS SURVEY, ABSTRACT 288, GENERALLY LOCATED SOUTHWEST OF THE INTERSECTION OF JAMIE ROAD AND NORTH MARY JO DRIVE, CURRENTLY ADDRESSED AS 200, 202, 204, 206, AND 208 JAMIE ROAD, AND 200 JAN CIRCLE, HARKER HEIGHTS, BELL COUNTY, TEXAS.

WHEREAS, the City Council ("**Council**") of the City of Harker Heights ("**City**") finds that after due notice and public hearings as required by law, and after consideration of the recommendation of the Planning and Zoning Commission, it is necessary and desirable to amend the Code of Harker Heights ("**Code**") as hereinafter provided; and

WHEREAS, the meeting at which this Ordinance was passed was open to the public, and notice of the time, place and purpose of said meeting was given as required by law, all in strict accordance with the requirements of the Texas Open Meetings Act;

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF HARKER HEIGHTS, TEXAS:**

**SECTION 1:** The Council officially finds and declares that the facts and recitations set forth in the preamble to this Ordinance are true and correct.

**SECTION 2:** The hereinafter-described property previously zoned R-3 (Multi-Family Dwelling District) is rezoned to R2-I (Two Family Infill Dwelling District):

Lots One (1) through Five (5), Block Three (3), Kern Terrace Second Extension, Harker Heights, per plat of record in Cabinet A, Slide 225-A, Plat Records of Bell County, Texas, and 1.241 Acres out of the V.L. Evans Survey, Abstract 288, generally located southwest of the intersection of Jamie Road and North Mary Jo Drive, currently addressed as 200, 202, 204, 206, and 208 Jamie Road, and 200 Jan Circle, Harker Heights, Bell County, Texas

**SECTION 3:** Table VII, Table of Special Ordinances, of the Code is hereby supplemented by adding the following entry:

<u>Ord. No.</u>	<u>Date Passed</u>	<u>Description</u>
	06/09/20	Granting R2-I zoning on property described as Lots One (1) through Five (5), Block Three (3), Kern Terrace Second Extension, Harker Heights, per plat of record in Cabinet A, Slide 225-A, Plat Records of Bell



**County, Texas, and 1.241 Acres out of the V.L. Evans Survey, Abstract 288, generally located southwest of the intersection of Jamie Road and North Mary Jo Drive, currently addressed as 200, 202, 204, 206, and 208 Jamie Road, and 200 Jan Circle, Harker Heights, Bell County, Texas**

**SECTION 4:** All ordinances or parts of ordinances in conflict with the provisions of this Ordinance are to the extent of such conflict hereby repealed.

**SECTION 5:** This Ordinance shall be effective from and after its passage, and the City Clerk shall publish the caption or title of hereof within ten days as required by law.

**PASSED AND APPROVED** on June 9, 2020.

---

Spencer H. Smith, Mayor

ATTEST:

---

Juliette Helsham, City Secretary





City of Harker Heights  
Planning & Development  
305 Millers Crossing  
Harker Heights, TX 76548  
Phone: (254) 953-5647

# Rezoning Request Application

**\*Requirements - MUST BE COMPLETE OR WILL NOT BE ACCEPTED\***

This application must be completed and returned to the Planning and Development Department of the City of Harker Heights, Texas along with the following:

1. Pre-Application Meeting Scheduled
2. Payment of \$200.00 to the City of Harker Heights

Property Owner(s) Name: Mark Mayoras

Date: 4/29/2020

Address: 709 Hay St.

City/State/Zip: Fayetteville, North Carolina, 28301

Phone: [REDACTED]

E-mail: [REDACTED]

**Legal Description of Property:**

Location of Property (Address if available): At the southwest corner between North Mary Jo Drive and Jamie Road

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_

Acres: 2.488 Property ID: \_\_\_\_\_ Survey: V.L. Eavns Survey, A-288, Harker Heights

*For properties not in a recorded subdivision please submit a copy of a current survey showing the property's proposed to be changed, and/or legal field notes.*

Proposed Use: Residential - Duplex

Current Zoning Classification: R-3

Proposed Zoning: R-21

Current Land Use: Abandoned Site

Proposed Land Use: Residential - Duplex

**Applicant's Representative (if applicable):**

Applicant's Representative: Lisa Story

Phone: [REDACTED]

E-Mail: [REDACTED]

I, being the undersigned applicant of the property herein described, hereby make application for approval of plans submitted and made a part of the application in accordance with the provisions of the City of Harker Heights Ordinances, and hereby certify that the information provided is true and correct to the best of my knowledge and belief.

I, being the undersigned applicant, understand that failure to appear to represent a request shall be deemed a request to withdraw the proposal, or \_\_\_\_\_ will represent the owner.

Mark Mayoras

Printed Name of Property Owner

Mark Mayoras

Signature of Property Owner

Lisa Story

Printed Name of Representative

Lisa Story

Signature of Representative

Date Submitted: 4/29/20

**STAFF ONLY - DO NOT FILL OUT BELOW**

Received By: C. Pate

☒ Pre-Application Meeting

Revised: 2/28/18

Receipt #: 01572157

Case #: 220-09

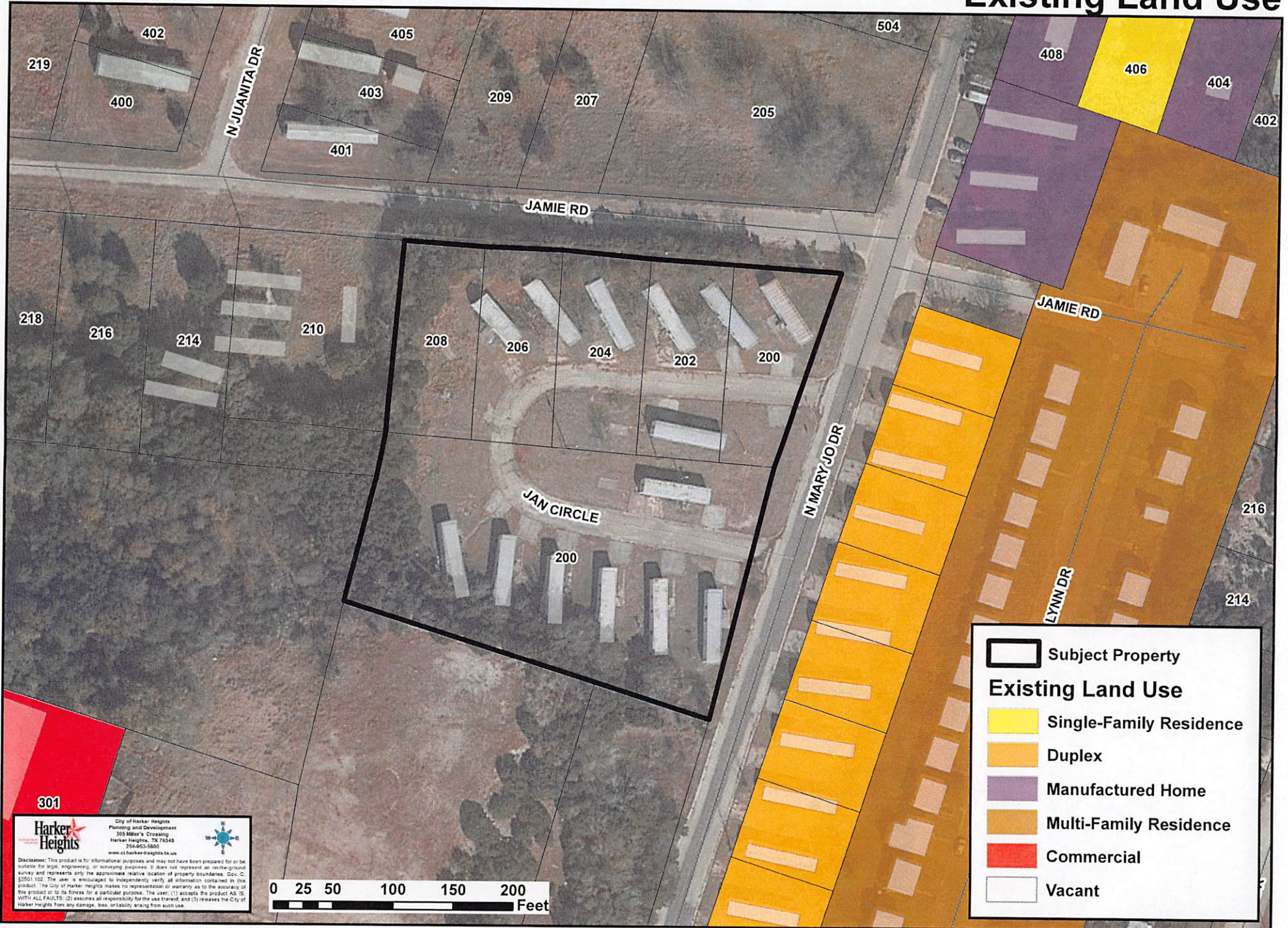




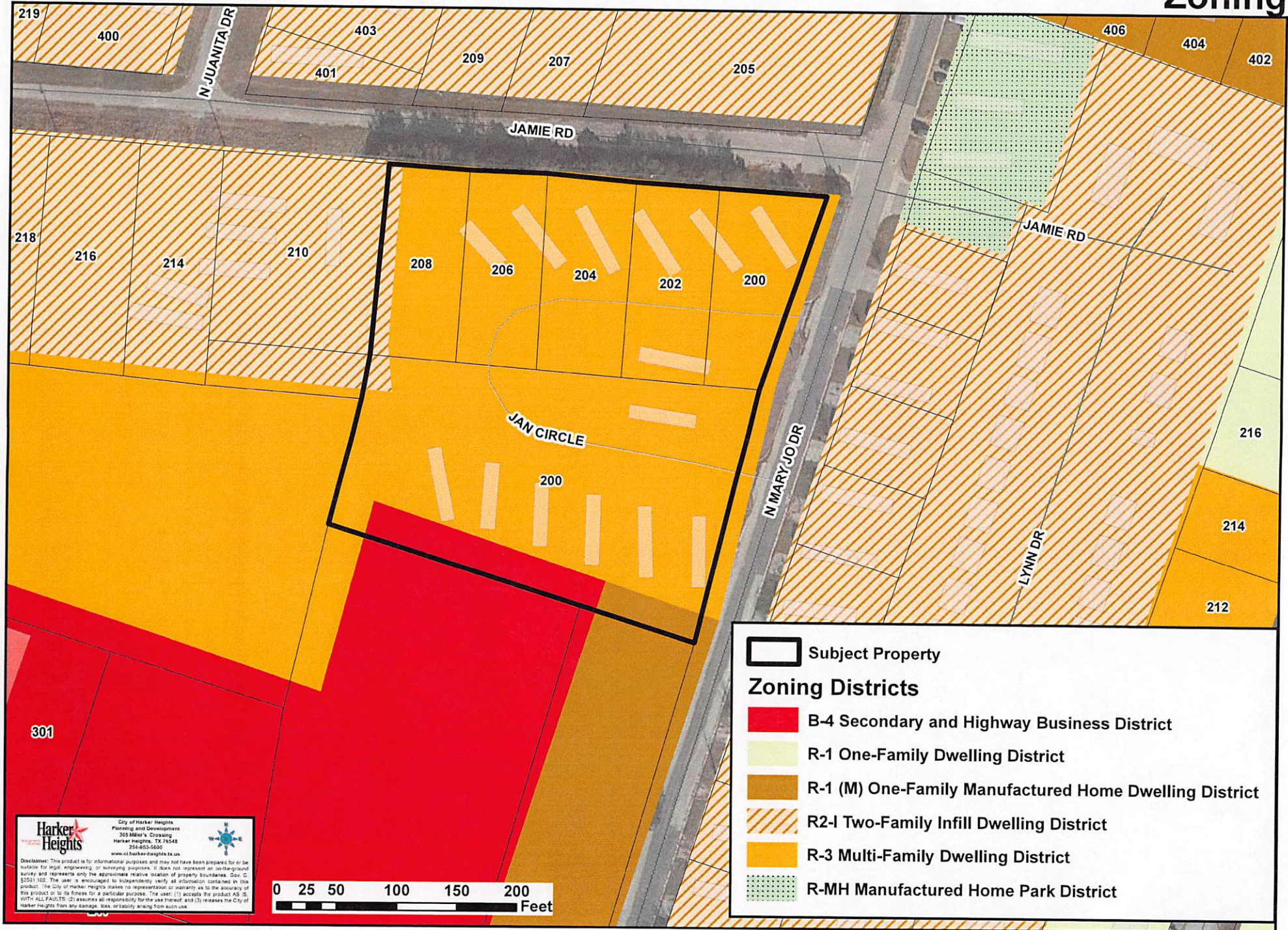


# Z20-09

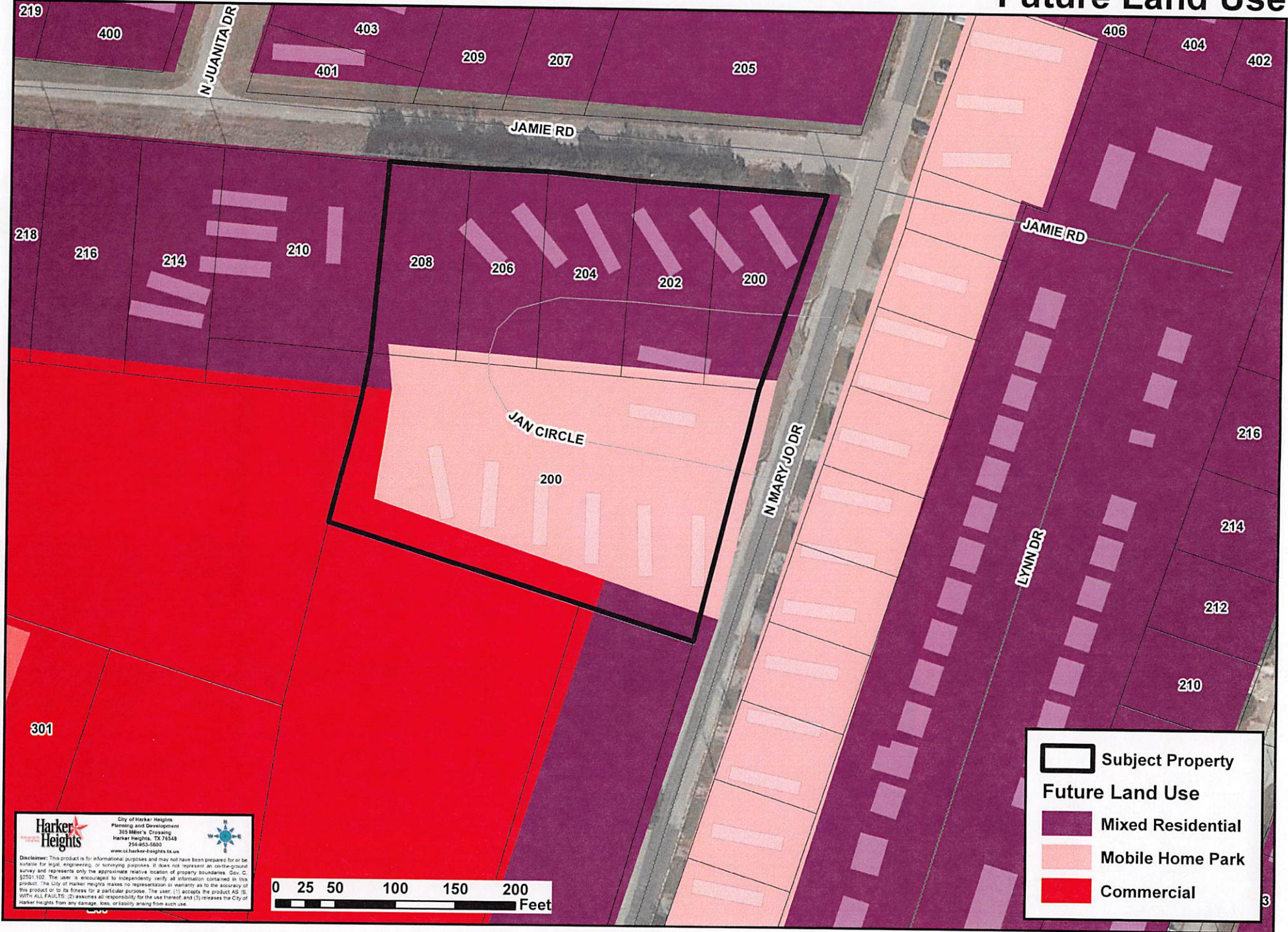
## Existing Land Use



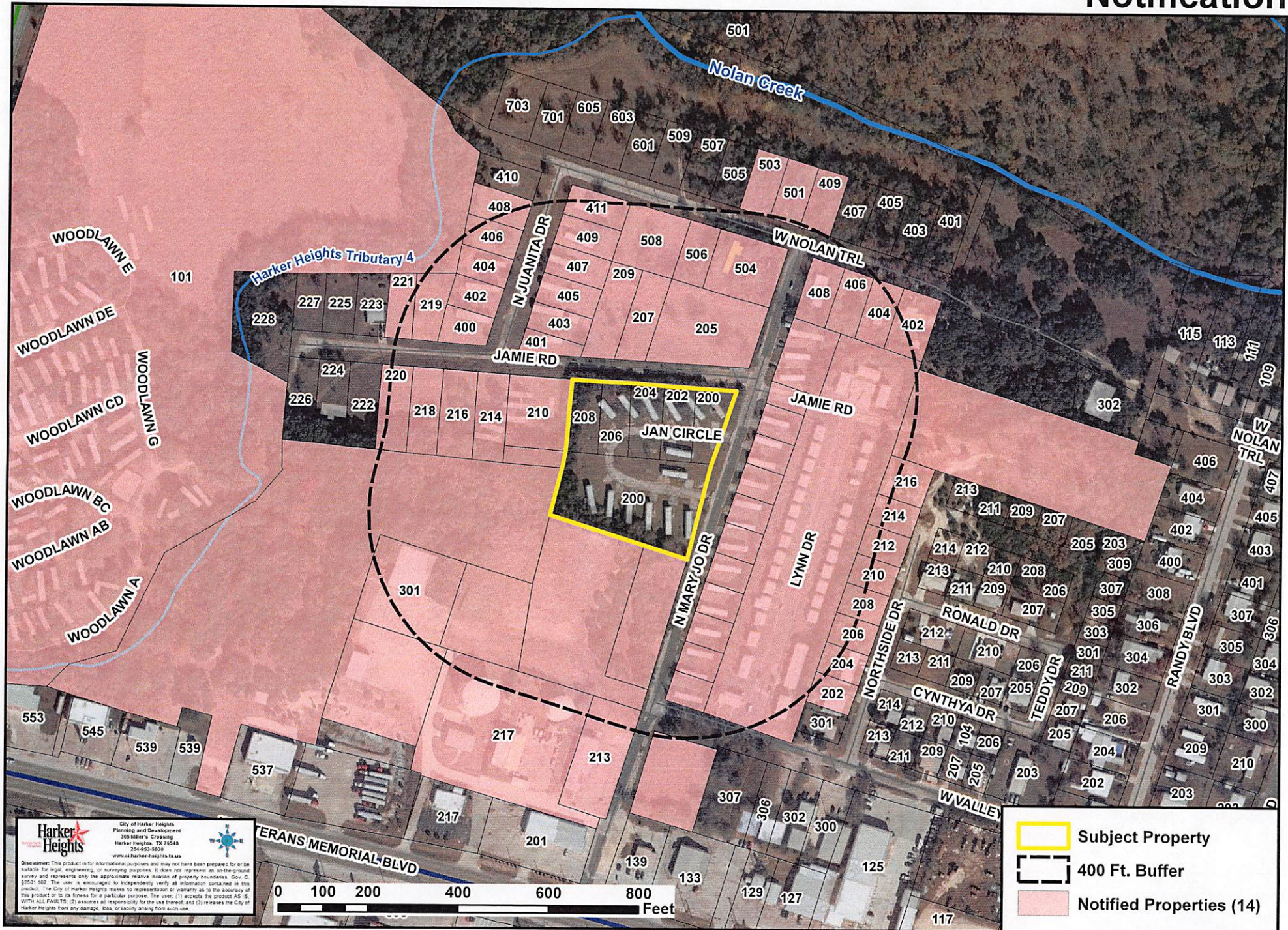
















## CITY COUNCIL MEMORANDUM

**P20-03**

### **AGENDA ITEM IX-1**

FROM: THE OFFICE OF THE CITY MANAGER

DATE: JUNE 9, 2020

DISCUSS AND CONSIDER APPROVING A PRELIMINARY PLAT FOR FREEDOM PARK SUBDIVISION ON PROPERTY DESCRIBED AS LOTS ONE (1) THROUGH FIVE (5), BLOCK THREE (3), KERN TERRACE SECOND EXTENSION, HARKER HEIGHTS, PER PLAT OF RECORD IN CABINET A, SLIDE 225-A, PLAT RECORDS OF BELL COUNTY, TEXAS, AND 1.241 ACRES OUT OF THE V.L. EVANS SURVEY, ABSTRACT 288, GENERALLY LOCATED SOUTHWEST OF THE INTERSECTION OF JAMIE ROAD AND NORTH MARY JO DRIVE, CURRENTLY ADDRESSED AS 200, 202, 204, 206, AND 208 JAMIE ROAD, AND 200 JAN CIRCLE, HARKER HEIGHTS, BELL COUNTY, TEXAS, AND TAKE THE APPROPRIATE ACTION.

#### **PROJECT DESCRIPTION:**

The applicant, Mark Mayoras, submitted an application for preliminary plat approval for approximately 4.58 acres of land located near the intersection of North Mary Jo Drive and Jamie Road. The development will consist of ten (10) individual lots of no less than 6,000 square feet as allowed by the R2-I district (Two Family Infill Dwelling District).

Phase one of the development will consist of lots 1, 8, and 9. It will accommodate three (3) duplexes per lot that will front along N. Mary Jo Drive and gain access to existing six (6") inch water and wastewater lines.

Phase two of the development will consist of the remaining seven (7) lots that will gain access from the private drive, Jan Circle. Phase two will require the upsizing of all the existing two (2") inch water lines and the installation of a six (6") inch sewer line within Jan Circle.

Staff has reviewed the submitted preliminary plat and engineering plans and have made comments to address safety, connectivity, drainage and other pertinent requirements to ensure that all developmental regulations as stipulated in the City of Harker Heights Code of Ordinances will be followed.



### **RECOMMENDATION**

The comments provided by Staff have been addressed and the submitted preliminary plat meets the standards and ordinances of the City of Harker Heights. Staff recommends approval of the Preliminary Plat for Freedom Park Subdivision on property described as Lots One (1) through Five (5), Block Three (3), Kern Terrace Second Extension, Harker Heights, per plat of record in Cabinet A, Slide 225-A, Plat Records of Bell County, Texas and 1.241 acres out of the V.L. Evans Survey, Abstract 288, generally located southwest of the intersection of Jamie Road and North May Jo Drive, currently addressed as 200, 202, 204, 206, and 208 Jamie Road, and 200 Jan Circle, Harker Heights, Bell County, Texas.

### **ACTION TAKEN BY THE PLANNING AND ZONING COMMISSION:**

Following a public meeting on May 27, 2020, the Planning and Zoning Commission voted (6-0) to approve a preliminary plat for Freedom Park Subdivision on property described as Lots One (1) through Five (5), Block Three (3), Kern Terrace Second Extension, Harker Heights, per plat of record in Cabinet A, Slide 225-A, Plat Records of Bell County, Texas and 1.241 acres out of the V.L. Evans Survey, Abstract 288, generally located southwest of the intersection of Jamie Road and North May Jo Drive, currently addressed as 200, 202, 204, 206, and 208 Jamie Road, and 200 Jan Circle, Harker Heights, Bell County, Texas.

### **ACTION BY THE CITY COUNCIL:**

1. Motion to approve/disapprove a request for preliminary plat approval for Freedom Park Subdivision on property described as Lots One (1) through Five (5), Block Three (3), Kern Terrace Second Extension, Harker Heights, per plat of record in Cabinet A, Slide 225-A, Plat Records of Bell County, Texas and 1.241 acres out of the V.L. Evans Survey, Abstract 288, generally located southwest of the intersection of Jamie Road and North May Jo Drive, currently addressed as 200, 202, 204, 206, and 208 Jamie Road, and 200 Jan Circle, Harker Heights, Bell County, Texas.
2. Any other action desired.

### **ATTACHMENTS:**

1. PowerPoint Presentation
2. Application
3. Location Map
4. Plat
5. Engineered Plans – Utilities/Drainage
6. Staff Comments



P20-03

Location





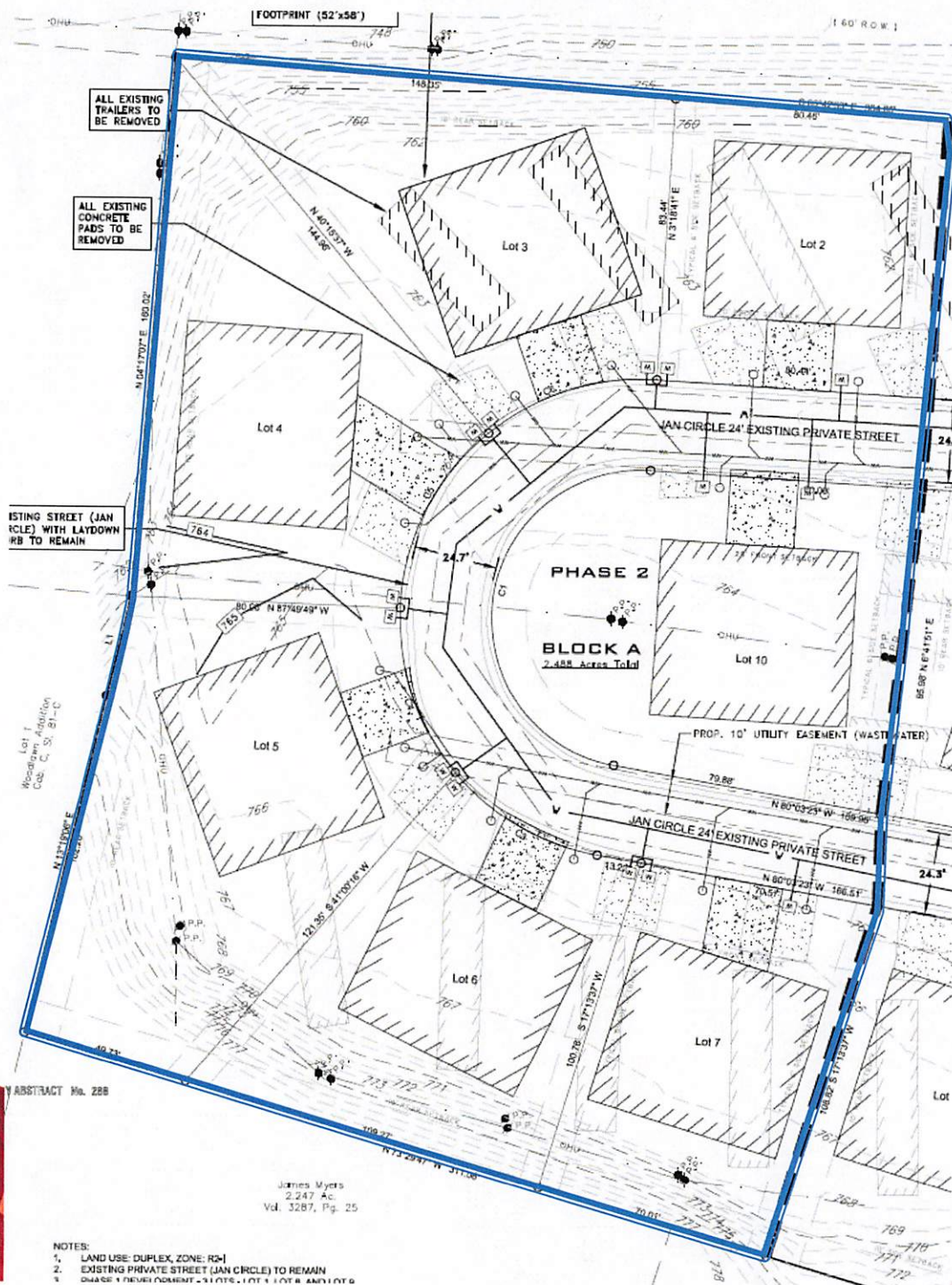


Jan Circle









## Phase One

- Lots 1, 8, and 9

## Phase Two

- Lots 2, 3, 4, 5, 6, 7, and 10





City of Harker Heights  
Planning & Development  
305 Millers Crossing  
Harker Heights, TX 76548  
Phone: (254) 953-5647  
Fax: (254) 953-5666

# Preliminary Plat Application

\* Requirements - APPLICATION MUST BE FULLY COMPLETED OR WILL NOT BE ACCEPTED \*

This application must be completed returned to the Planning Development Department of the City of Harker Heights, Texas along with the following:

1. Pre-Application Meeting with Staff to ensure applicability
2. Payment of \$500.00 + \$25/per lot
3. Signed Original Field Notes and Dedication Pages
4. Paper Plan Submissions: Ten (10) Copies of the Plat and Seven (7) Copies of Preliminary Engineering Drawings
5. Electronic Submission of all documents for review delivered to Planning Administrative Assistant

## Property Information:

Plat Name: Freedom Park Subdivision Date Submitted: Apr 29, 2020  
Existing Lot Count: 1 Proposed Lot Count: 1 Proposed Units: 10 Acreage: 2.488  
Existing Land Use: Multi-Family Residence (R-3) Proposed Land Use: Multi-Family Residence (R-21)  
Site Address or General Location: At the southwest corner between North Mary Jo Drive and Jamie Road.  
Public Infrastructure Proposed with Subdivision: ☒ Water ☒ Wastewater ☐ Streets (including Private) ☐ Stormwater

## Owner Information & Authorization:

Property Owner: Mark Mayoras  
Address: 709 Hay st, Fayetteville NC 28301  
Phone: [REDACTED] E-Mail: [REDACTED]  
Developer: Military Standard Construction  
Address: 1900 E Elms St, Killeen, TX 76542  
Phone: [REDACTED] E-Mail: [REDACTED]  
Engineer/Surveyor: Matthew Chu with Thonhoff Consulting Engineers, Inc.  
Address: 1301 South Capital of Texas Highway, Suite A-236, Austin, Texas 78746  
[REDACTED] E-Mail: [REDACTED]

## CHECK ONE OF THE FOLLOWING:

- ☐ I will represent the application myself.
- ☒ I hereby designate Matthew Chu (name of project representative) to act in the capacity as my agent for submittal, processing, representation, and/or presentation of this development application.

The property owner and/or their authorized representative must be present at all Planning and Zoning Commission Meetings and City Council Meetings at which their plan or plat is on the agenda for discussion or action. Failure of the developer or their authorized representative to appear during a meeting may be deemed a withdrawal of the plat or plan.

OWNER SIGNATURE: [Signature]  
SWORN AND SUBSCRIBED BEFORE ME THIS 24th DAY OF April, 2020

Dawn Foose  
NOTARY PUBLIC IN AND FOR THE STATE OF ~~TEXAS~~ North Carolina  
MY COMMISSION EXPIRES: August 19, 2023

**DAWN FOOSE**  
Notary Public  
Cumberland Co., North Carolina  
My Commission Expires Aug. 19, 2023

## STAFF ONLY - DO NOT FILL OUT

Date Submitted: 4/29/20 Received By: [Signature] Receipt #: 01572012









PLAT NOTES

1. LAND USE: DUPLEX, ZONE: R24
2. EXISTING PRIVATE DRIVEWAY (JAN CIRCLE) TO REMAIN
3. PHASE 1 DEVELOPMENT - 3 LOTS - LOT 1, LOT 6, AND LOT 9
4. PHASE 2 DEVELOPMENT - REMAINING 7 LOTS - LOT 2 TO LOT 7, AND LOT 18
5. JAN CIRCLE IS DEDICATED AND MARKED AS PUBE LANE
6. AN HOA WILL BE ESTABLISHED AND FUNDED TO MAINTAIN JAN CIRCLE AND ANY OTHER COMMON AREAS NOT DEDICATED TO THE CITY

Ray Raymond Estates, LLC  
Tract 2  
3943 Acres  
00C 0 2019-2230 DPMBC



**PRELIMINARY PLAT of  
FREEDOM PARK SUBDIVISION  
CITY OF HARKER HEIGHTS, BELL COUNTY, TEXAS  
BEING ALL OF THE CERTAIN 2.488 TRACT OF LAND CONVEYED TO MARK A.  
MAYORAS BY DEED RECORDED IN DOCUMENT NUMBER 2020009343,  
OFFICIAL PUBLIC RECORDS OF BELL COUNTY, TEXAS**

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020, BY THE CITY COUNCIL OF  
THE CITY OF MARKER HEIGHTS, TEXAS.

MAYOR

CITY SECRETARY

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020, BY THE PLANNING AND ZONING  
COMMISSION OF THE CITY OF HARKER HEIGHTS, TEXAS.

**CHAIRMAN, PLANNING AND ZONING COMMISSION**

**SECRETARY, PLANNING AND ZONING COMMISSION**

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020, BY THE DIRECTOR OF PLANNING AND DEVELOPMENT OF THE CITY OF MARKER HEIGHTS, TEXAS, BELL COUNTY, TEXAS.

**DIRECTOR OF PLANNING AND DEVELOPMENT**

THE BELL COUNTY TAX APPRAISAL DISTRICT, THE TAXING AUTHORITY FOR ALL ENTITIES IN BELL COUNTY, TEXAS DOES HEREBY CERTIFY THAT THERE ARE CURRENTLY NO DELINQUENT TAXES OR OWING ON THE PROPERTY DESCRIBED BY THIS PLAT.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2020, A.D.

BELL COUNTY TAX APPRAISAL DISTRICT

\_\_\_\_\_

FILED FOR RECORD THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, IN YEAR \_\_\_\_\_  
PLAT # \_\_\_\_\_, PLAT RECORDS OF BELL COUNTY, TEXAS. DEDICATION INSTRUMENT  
# \_\_\_\_\_ OFFICIAL PUBLIC RECORDS OF REAL PROPERTY, BELL COUNTY, TEXAS

WITNESS MY HAND AND SEAL OF OFFICE OF THE COUNTY CLERK, THE \_\_\_\_ DAY OF \_\_\_\_\_, 2020, A.D.  
SHELLEY COSTON, COUNTY CLERK  
BELL COUNTY, TEXAS

BY \_\_\_\_\_  
DEPUTY

**KNOW ALL MEN BY THESE PRESENTS:**

THAT I, CLAUDE F. HINKLE, JR. DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH THE SUBDIVISION AND PROPERTY DEVELOPMENT REGULATIONS OF THE CITY OF HARKER HEIGHTS, TEXAS.

CLAUDE F. HINKLE, JR.  
REGISTERED PROFESSIONAL LAND SURVEYOR  
TEXAS LICENSE NO. 4629  
P.O. BOX 180243  
AUSTIN, TEXAS 78758  
PH: (512) 454-0005

NO PORTION OF THIS TRACT IS WITHIN THE BOUNDARIES OF A SPECIAL FLOOD HAZARD AREA AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NO. 48027C 0285 C, COMMUNITY PANEL NO. 480029 0285 E, CITY OF HARKER HEIGHTS, TEXAS, BEARING AN EFFECTIVE DATE OF SEPTEMBER 26, 2008.

ROBERT H. THONHOFF, JR., P.E.  
REGISTERED PROFESSIONAL ENGINEER  
TEXAS LICENSE NO. 55674  
THONHOFF CONSULTING ENGINEERS, INC  
100 WEST KATHEY ROAD  
SUITE B  
HARKER HEIGHTS, TEXAS 76548  
PH: (512) 328-6736  
BTHONHOFF@TCETX.COM

DATE \_\_\_\_\_

**DRAFT**

STATE OF TEXAS  
ROBERT M. PORT, JR.  
74  
REGISTERED  
PROFESSIONAL ENGINEER

**TCE** **THONHOFF CONSULTING ENGINEERS, INC.**  
MUNICIPAL ENVIRONMENTAL WATER & WASTEWATER  
FIRM REGISTRATION NO. P-068261

1201 CAPITAL, (812) 390-0720 TEXAS EPT. SOUTH WHITE & GUN AUSTIN, TEXAS 78704 FAX (512) 390-0740

SHEET 1 OF

### LEGEND

- ① IRON ROD W/ PLASTIC CAP STAMPED "AUSTIN SURVEYORS" SET
- ② IRON ROD W/ NO IDENTIFYING CAP FOUND

ORCT	OFFICIAL PUBLIC RECORDS
	BELL COUNTY, TEXAS
ROW	RIGHT-OF-WAY
V. P	VOLUME . PAGE
DOC #	DOCUMENT NUMBER
( )	RECORD INFORMATION
PUE	PUBLIC UTILITY EASEMENT
OMU	OVERHEAD UTILITY LINE

FREEDOM PARK SUBDIVISION, BLOCK A LOT SUMMARY		
LOT #	LOT AREA (SQ')	
1	10,225.34	
2	8,657.53	
3	9,510.88	
4	10,013.56	
5	11,823.32	
6	8,823.43	
7	7,236.29	
8	9,376.69	
9	10,285.16	
10	10,197.80	
TRACT A (PRIVATE ROAD)		14,465.86

STATE OF TEXAS  
COUNTY OF BELL

KNOW ALL THESE THINGS PRESENTS, THAT I, MARK A. MAYORAS, BEING THE OWNER OF ALL OF THAT CERTAIN 2.68 ACRE TRACT OF LAND CONVEYED TO ME BY DOCUMENT RECORDED UNDER INSTRUMENT NO. 2009-003343, OFFICIAL PUBLIC RECORDS, BELL COUNTY, TEXAS, AS SHOWN BY THE PLAT HEREOF, AND APPROVED BY THE DIRECTOR OF PLANNING AND DEVELOPMENT OF THE CITY OF HARPER HEIGHTS, TEXAS, HEREBY AGREE TO REDISEIGN PARK SUBDIVISION IN ADDITION TO THE CITY OF HARPER HEIGHTS, TEXAS, WHICH CITY HAS HERETOFORE AGREED TO SAID CITY ALL STREETS, AVENUE, RIVERS, DRIVES AND ALLEYS SHOWN ON THE PLAT HEREOF, AND TO BE USED AS PUBLIC THROUGHWAYS AND FOR THE INSTALLATION AND MAINTENANCE OF UTILITIES AND DRAINAGE FACILITIES WHEN AND AS AUTHORIZED BY THE CITY OF HARPER HEIGHTS, TEXAS, AND WHEREIN THE CITY OF HARPER HEIGHTS, TEXAS, HAS HERETOFORE DEDICATED TO THE CITY OF HARPER HEIGHTS, TEXAS FOR THE INSTALLATION AND MAINTENANCE OF PUBLIC UTILITIES, WHICH CITY MAY INSTALL OR PERMIT TO BE INSTALLED OR MAINTAINED.

WITNESS THE EXECUTION HEREOF, ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

**MARK A. MAYORAS, Owner**  
709 Hays Street  
Fayetteville, North Carolina 28301

STATE OF NORTH CAROLINA  
COUNTY OF CUMBERLAND

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_ KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY HEREIN STATED.

\_\_\_\_\_  
GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE \_\_\_\_ DAY OF \_\_\_\_\_  
2020, A.D., NOTARY PUBLIC FOR CUMBERLAND COUNTY, NORTH CAROLINA.

NOTARY PUBLIC IN AND FOR THE STATE OF NORTH CAROLINA  
MY COMMISSION EXPIRES

**MY COMMISSION EXPIRES**



# FREEDOM PARK SUBDIVISION HARKER HEIGHTS, BELL COUNTY TEXAS ENGINEERING PLAN

## GENERAL CONSTRUCTION NOTES:

1. CONTRACTOR SHALL CALL TEXAS 811 FOR UTILITY LOCATIONS PRIOR TO ANY WORK IN CITY EASEMENTS OR STREET R.O.W. 48 HOURS BEFORE YOU DIG.
2. CONTRACTOR OR OWNER'S REPRESENTATIVE SHALL SUBMIT A STORMWATER POLLUTION PREVENTION PLAN THAT COMPLIES WITH CHAPTER 156 OF THE CITY OF HARKER HEIGHTS' CODE OF ORDINANCES PRIOR TO CONSTRUCTION.



LOCATION MAP  
NOT TO SCALE

## INDEX OF SHEETS

1. COVER SHEET
2. GENERAL NOTES
3. SITE PLAN
4. DRAINAGE PLAN
5. WATER PLAN 1
6. WATER PLAN 2
7. WASTEWATER PLAN 1
8. WASTEWATER PLAN 2
9. STANDARD DETAILS
10. STANDARD DETAILS

SUBMITTED FOR APPROVAL BY:

*[Signature]*

THONHOFF CONSULTING ENGINEERS, INC.

5/26/2020  
Date

APPROVED BY:

CITY OF HARKER HEIGHTS PUBLIC WORKS Date

THIS PLAN SET HAS BEEN RELEASED FOR CONSTRUCTION BY  
THE CITY OF HARKER HEIGHTS FOR A PERIOD OF ONE YEAR.

REVISIONS	
NO.	DATE

**TCE** THONHOFF CONSULTING ENGINEERS, INC.  
MUNICIPAL • ENVIRONMENTAL • WATER & WASTEWATER  
FIRM REGISTRATION NO. P-409241  
1301 CAPITAL OF TEXAS BLY. SUITE A-238 AUSTIN, TEXAS 78746  
(512) 382-8778

**FREEDOM PARK SUBDIVISION  
HARKER HEIGHTS  
BELL COUNTY, TEXAS**

**COVER SHEET**

JOB NO.	20007.1.100
DESIGNED	SMC
DRAWN BY	SMC
APPROVED	RHT
DATE	MAY 2020
SCALE	AS NOTED
SHEET	1 OF 10
REVISION NO.	△
DATE	

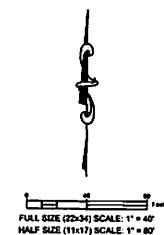











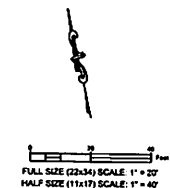
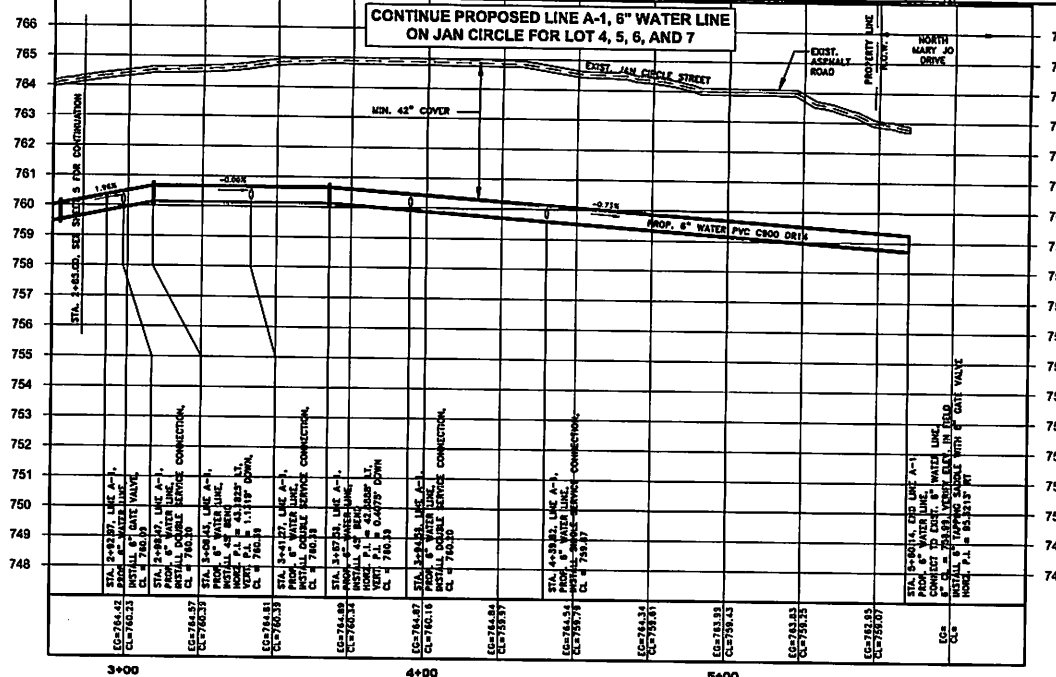
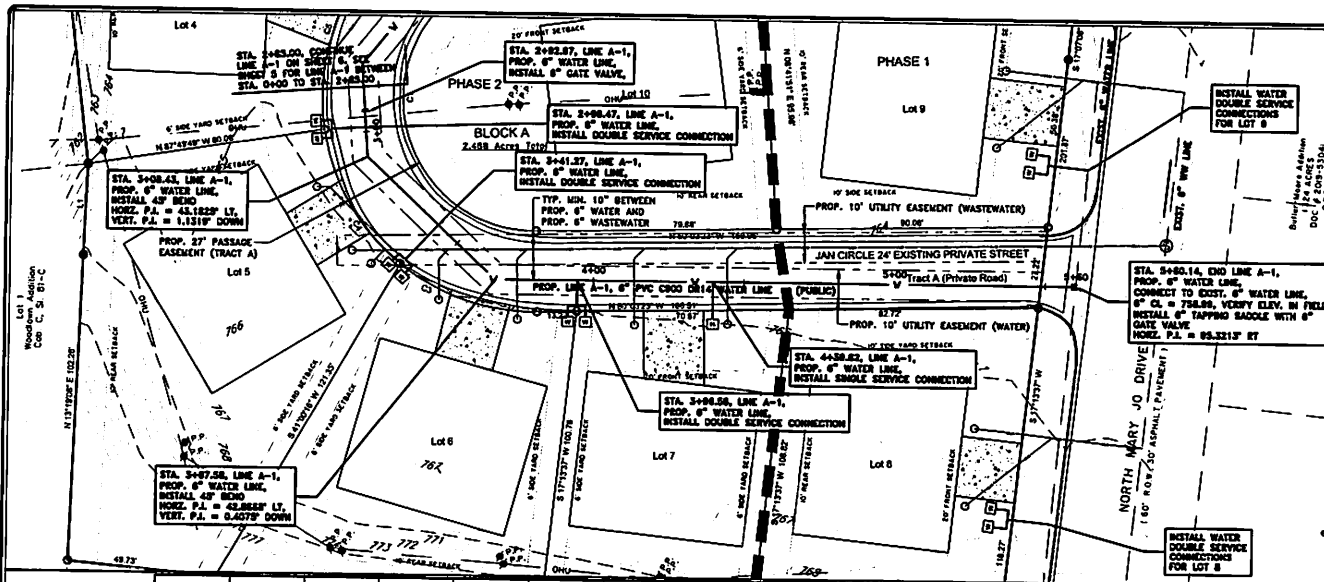


SHEET  
**4 OF 10**  
REVISION NO.   
DATE









**LEGEND**

R.O.W. AND PROPERTY LINE	---
EXISTING WASTEWATER LINE	---
EXISTING WASTEWATER MANHOLE	⊙
EXISTING OVERHEAD ELECTRIC	---
EXISTING WATER LINE	---
TELEPHONE OR POWER POLE	⊙
EXISTING FIRE HYDRANT	⊙
PROPOSED LOT LINE	---
PROPOSED WATER LINE	---
PROPOSED WASTEWATER LINE	---
PROPOSED WASTEWATER CLEANOUT	⊙
PROPOSED WASTEWATER MANHOLE	⊙
PROPOSED WATER SERVICE CONNECTION (SINGLE)	⊙
PROPOSED WATER SERVICE CONNECTION (DOUBLE)	⊙
PROPOSED WATER VALVE	⊙
CONSTRUCTION PHASE LINE	---

- NOTES:**
1. HYDROSTATIC TEST SHALL BE PERFORMED ON THE PROPOSED 8" WATER BEFORE PLACING FOR SERVICE.
  2. RECORD SHOWS EXISTING 8" WATER ON SITE, IT SHALL BE ABANDONED IN PLACE, VERIFY LOCATION IN FIELD.
  3. WATER LINE SHALL BE PVC C900 DR14 UNLESS SPECIFIED OTHERWISE.
  4. WATER LINE SHALL HAVE A MINIMUM OF 42" COVER.
  5. ALL MATERIALS SHALL BE U.S.A. DOMESTIC ONLY.
  6. A PVC SLEEVE IS REQUIRED ON WATER SERVICE CONNECTION ACROSS PAVEMENT. PVC SLEEVE SHALL BE 4" SCH. 40 PVC OR 4" C900 PVC DR14.

ALL RESPONSIBILITY FOR THE ACCURACY OF THESE PLANS REMAINS WITH THE REGISTERED PROFESSIONAL ENGINEER WHO PREPARED THEM. BY APPROVING THESE PLANS, THE CITY OF AUSTIN MUST RELY UPON THE ACCURACY OF THE WORK OF THE DESIGN ENGINEER.

**!!!CAUTION!!!**  
EXISTING OVERHEAD UTILITIES IN VICINITY CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING NEAR ELECTRIC FACILITIES

**!!!WARNING!!!**  
THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION AND AVOIDING ALL EXISTING UTILITIES BY CALLING THE "ONE CALL" LOCATOR SERVICE AT (800) 848-4363 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.

**REVISIONS**

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	05/21/2020



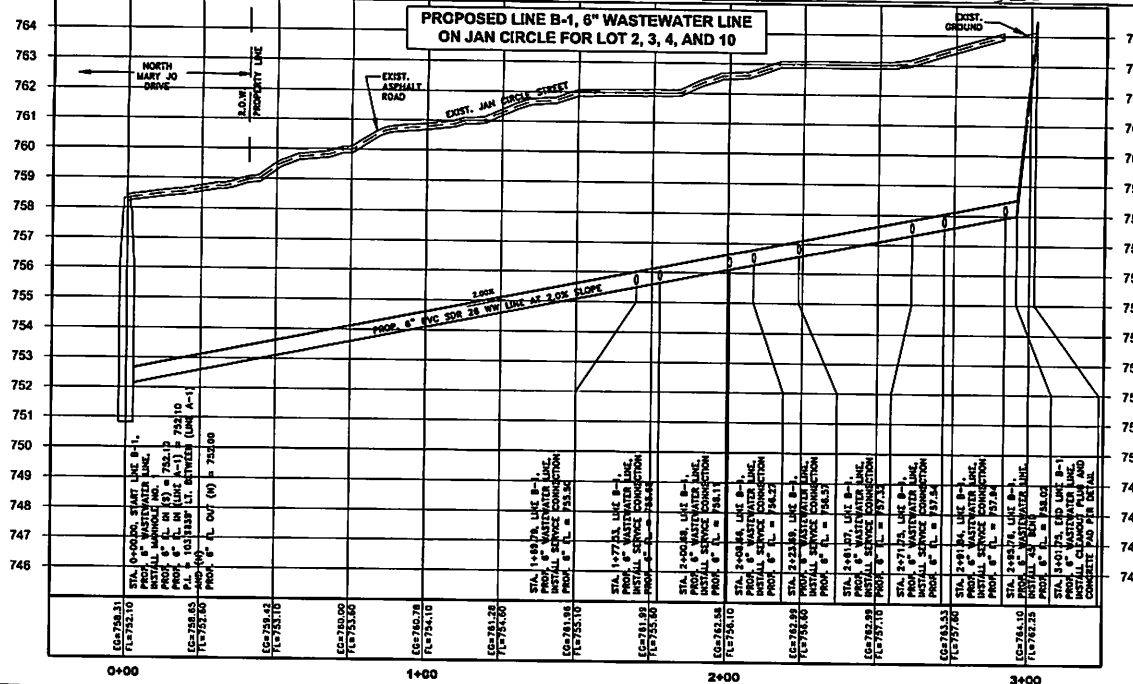
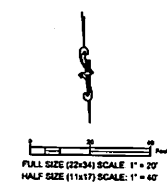
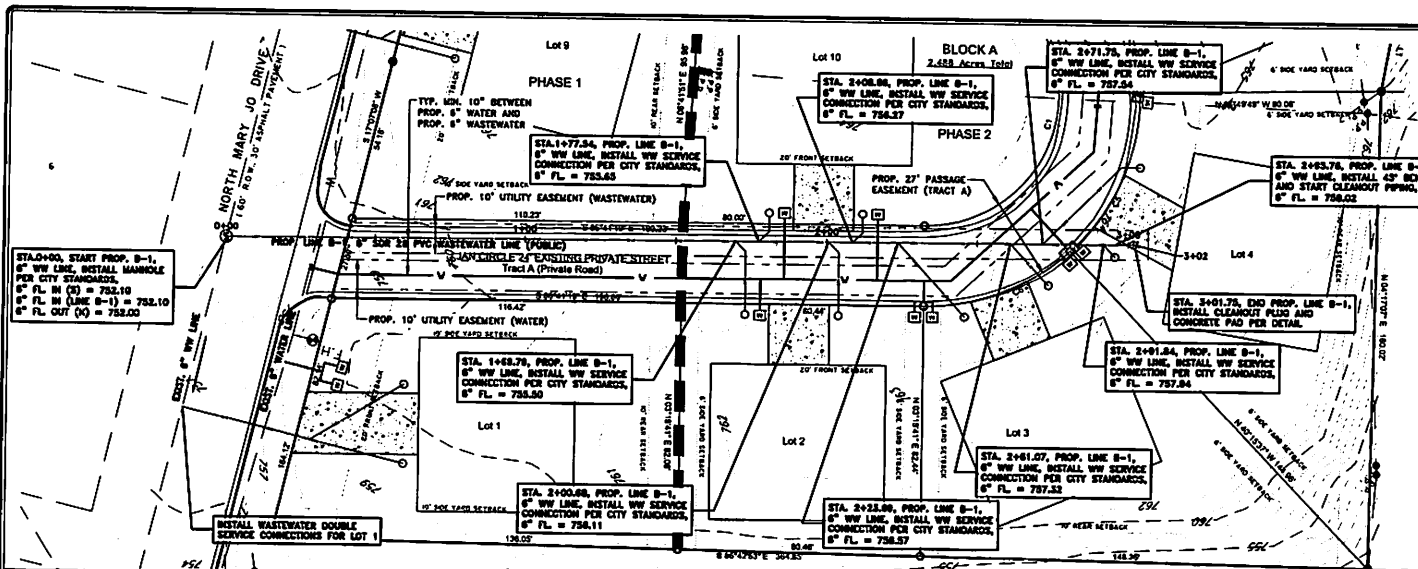
**Tce**  
TCE ENGINEERING, INC.  
SURVEYAL • ENGINEERING • WATER & WASTEWATER  
FIVE EXECUTIONS NO. P-000001  
1901 CAPITAL OF TEXAS BLDG. SUITE 1100 AUSTIN, TEXAS 78746  
(512) 520-0700

**FREEDOM PARK SUBDIVISION  
HARKER HEIGHTS  
BELL COUNTY, TEXAS**

**WATER PLAN 2**

JOB NO.	20007.1.100
DESIGNED BY	SMC
DRAWN BY	SMC
APPROVED BY	SMC
DATE	MAY 2020
SCALE	AS NOTED
SHEET	8 OF 10
REVISION NO.	Δ
DATE	





ALL RESPONSIBILITY FOR THE ACCURACY OF THESE PLANS REMAINS WITH THE REGISTERED PROFESSIONAL ENGINEER WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF AUSTIN MUST RELY UPON THE ACCURACY OF THE WORK OF THE DESIGN ENGINEER.

**!!!CAUTION!!!**

EXISTING OVERHEAD UTILITIES IN VICINITY CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING NEAR ELECTRIC FACILITIES

**!!!WARNING!!!**

THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION AND AVOIDING ALL EXISTING UTILITIES BY CALLING THE "ONE CALL" LOCATOR SERVICE AT (800) 245-4363 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.

REVISIONS	DATE	BY	APP'D



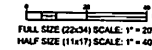
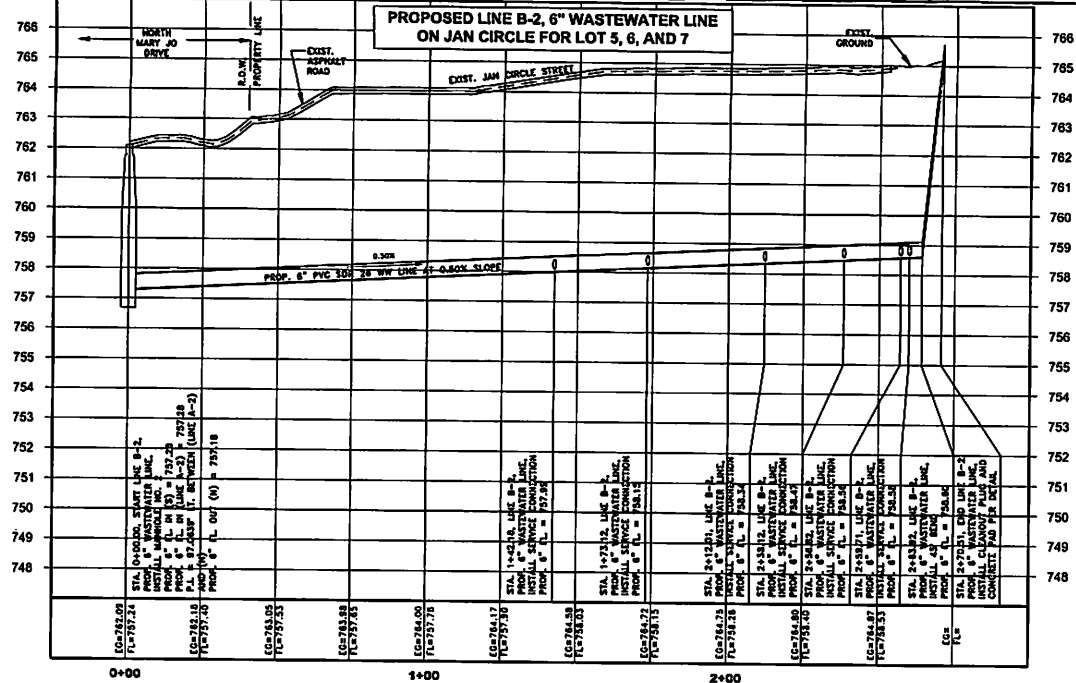
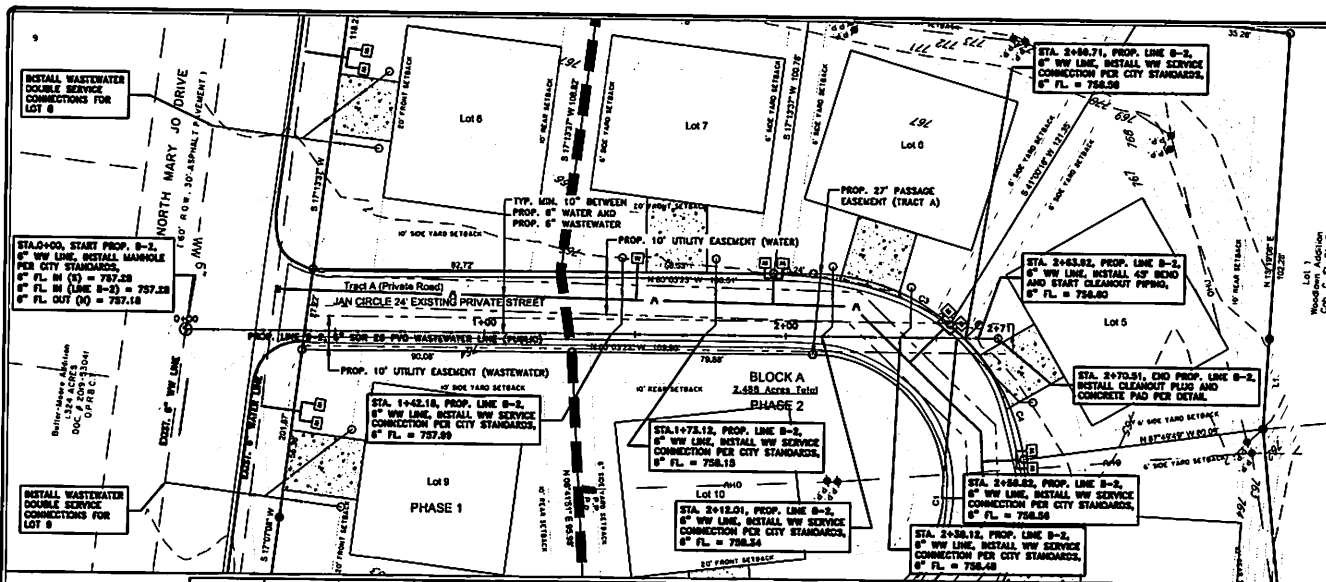
**Tce**  
THEODORE CONSULTING ENGINEERS, INC.  
NATURAL • ENVIRONMENTAL • WATER & WASTEWATER  
P.O. BOX 100000  
AUSTIN, TEXAS 78768  
TEL (512) 251-4444  
FAX (512) 251-4444

**FREEDOM PARK SUBDIVISION  
HARKER HEIGHTS  
BELL COUNTY, TEXAS**

**WASTEWATER PLAN 1**

**7 OF 10**





# LEGEND

R.O.W. AND PROPERTY LINE	---
EXISTING WASTEWATER LINE	---
EXISTING OVERHEAD MANHOLE	○
EXISTING OVERHEAD ELECTRIC	---
EXISTING WATER LINE	---
TELEPHONE OR POWER POLE	○
EXISTING FIRE HYDRANT	○
PROPOSED LOT LINE	---
PROPOSED WATER LINE	---
PROPOSED WASTEWATER LINE	---
PROPOSED WASTEWATER CLEANOUT	---
PROPOSED WASTEWATER MANHOLE	○
PROPOSED WATER SERVICE CONNECTION (SINGLE)	---
PROPOSED WATER SERVICE CONNECTION (DOUBLE)	---
PROPOSED WATER VALVE	---
CONSTRUCTION PHASE LINE	---

ALL RESPONSIBILITY FOR THE ACCURACY OF THESE PLANS REMAINS WITH THE REGISTERED PROFESSIONAL ENGINEER WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF AUSTIN MUST RELY UPON THE ACCURACY OF THE WORK OF THE DESIGN ENGINEER.

## !!CAUTION!!

EXISTING OVERHEAD UTILITIES IN VICINITY CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING NEAR ELECTRIC FACILITIES

## !!WARNING!!

THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND AVOIDING ALL EXISTING UTILITIES BY CALLING THE "ONE CALL" LOCATOR SERVICE AT (800) 243-6868 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.

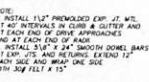
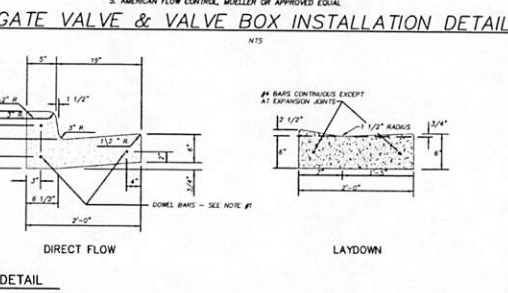
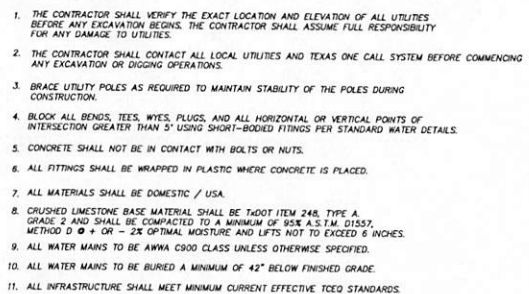
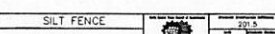
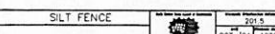
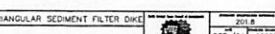
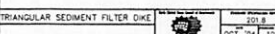
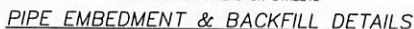
REVISIONS	
NO.	DATE

**TCE** TEOHOPF CONSULTING ENGINEERS, INC.  
 SURVEYING • ENGINEERING • WATER & WASTEWATER  
 1501 CENTRAL EXPRESSWAY, SUITE 200, AUSTIN, TEXAS 78701  
 TEL: (512) 476-1000 FAX: (512) 476-1001

**FREEDOM PARK SUBDIVISION**  
**HARKER HEIGHTS**  
**BELL COUNTY, TEXAS**  
**WASTEWATER PLAN 2**

JOB NO. 20007.1.100  
 DESIGNED: SMC  
 DRAWN BY: SMC  
 APPROVED: RHT  
 DATE: MAY 2020  
 SCALE: AS NOTED  
 SHEET: 8 OF 10  
 REVISION NO.:  
 DATE:



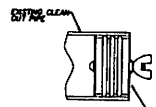


10

JOB NO. 20007.1.100	
DESIGNED	SMC
DRAWN BY	SMC
APPROVED	RHT
DATE	MAY 2020
SCALE AS NOTED	

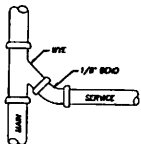
\_\_\_\_\_



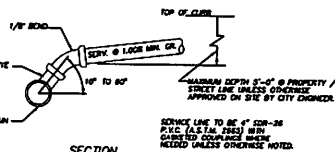


MECHANICAL PIPE PLUG DETAIL  
FOR SANITARY SEWER CLEAN OUT

TYPICAL SECTION OF SEWER CLEANOUT

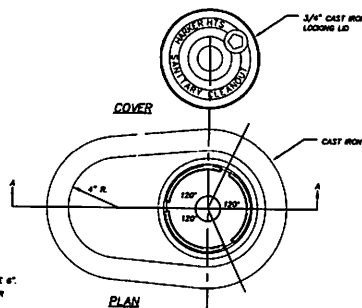


PLAN

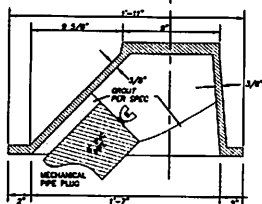


SECTION

SEWER TAP DETAILS



PLAN

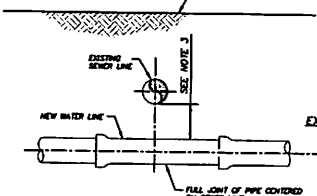


SECTION A-A

CLEANOUT LID DETAIL

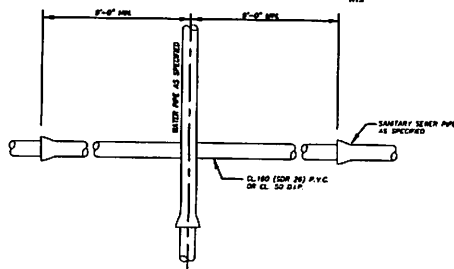
NOTES:

1. ALL WATER AND SEWER LINE CONSTRUCTION RUNNING PARALLEL WITH EACH OTHER SHALL MAINTAIN A 6\"/>
2. SEPARATION REQUIREMENTS SHOWN HERE DO NOT APPLY TO SERVICE CONNECTIONS - REFER TO PLUMBING CODE FOR APPLICABLE REQUIREMENTS.
3. ALL WATER AND WATER LINE CROSSINGS SHALL COMPLY WITH THE 1995 DRAINAGE DISTRICT PUBLIC DRAINAGE DISTRICT SECTION 290.04 WATER DISTRIBUTION SUB SECTION 8 NEW WATERLINE INSTALLATION-CROSSING EXISTING LINES. PARAGRAPHS (1) THROUGH (4) AND ALL SUB PARAGRAPHS THEREIN.

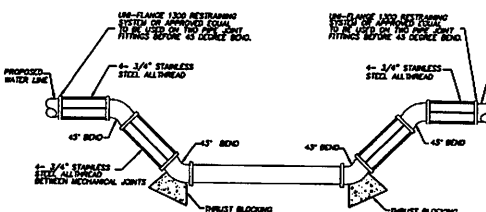


NEW WATER LINE CROSSING EXISTING SANITARY SEWER

PIPE SEPARATION DETAILS



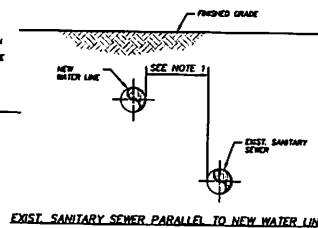
SANITARY SEWER-WATER LINE CROSSING DETAIL



NOTES:

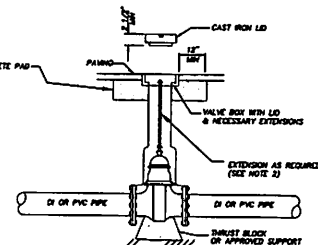
1. WATER LINE LOWERING SHALL BE REQUIRED WHEN CROSSING UNDER EXISTING UNRESTRAINED SEWER PIPES, ETC. OR AS SHOWN ON PLANS OR AS DIRECTED BY THE CITY ENGINEER AND WHEN NECESSARY TO MEET EXISTING FIELD CONDITIONS.
2. ALL ENCASEMENT REQUIRED UNDER ALL STRUCTURES.
3. LOWER 45° BEND SHALL HAVE CONCRETE BLOTTING.
4. ALL ALLTHREADS, NUTS, BOLTS TO BE WRAPPED IN HEAVY WELDED PLASTIC.

VERTICAL 45° RESTRAINED JOINT DETAIL



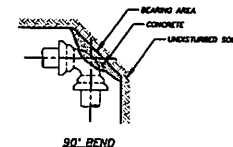
EXIST. SANITARY SEWER PARALLEL TO NEW WATER LINE

GATE VALVE & VALVE BOX INSTALLATION DETAIL

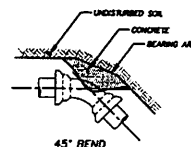


NOTES:

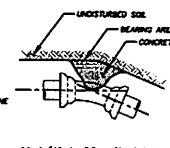
1. VALVE BOXES LOCATED OUTSIDE OF PAVED AREAS SHALL BE ADJUSTED FLUSH WITH THE NATURAL GROUND WITH A CONCRETE PAD 12\"/>
2. EXTENSION REQUIRED WHEN VALVE OPERATING DEPTH IS GREATER THAN 4\"/>
3. VALVES TO BE RESILIENT SEATED GATE VALVE, (APPROX) COAT COATED INSIDE AND OUT, WITH A NON-REINFORCED STEEL AND STAINLESS STEEL NUTS AND BOLTS.
4. ALL FITTINGS TO BE WRAPPED IN PLASTIC WHEN CONCRETE IS PLACED.
5. AMERICAN FLOW CONTROL, MULLER OR APPROVED EQUAL.



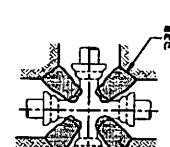
90° BEND



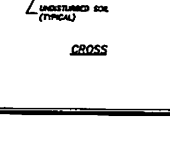
45° BEND



11 1/4° & 22 1/2° BEND



CROSS



CROSS SECTION

THRUST BLOCKING DETAILS

90° BEND	
PIPE SIZE	BEARING AREA
4"	2 S.F.
6"	4 S.F.
8"	6 S.F.
10"	12 S.F.
12"	16 S.F.
14"	22 S.F.
16"	28 S.F.
18"	34 S.F.
20"	44 S.F.
24"	64 S.F.
30"	100 S.F.
36"	163 S.F.

45° BEND	
PIPE SIZE	BEARING AREA
4"	1 S.F.
6"	3 S.F.
8"	4 S.F.
10"	6 S.F.
12"	9 S.F.
14"	12 S.F.
16"	16 S.F.
18"	20 S.F.
20"	24 S.F.
24"	36 S.F.
30"	54 S.F.
36"	72 S.F.

22 1/2° BEND	
PIPE SIZE	BEARING AREA
4"	1 S.F.
6"	1 S.F.
8"	2 S.F.
10"	3 S.F.
12"	5 S.F.
14"	6 S.F.
16"	8 S.F.
18"	10 S.F.
20"	12 S.F.
24"	16 S.F.
30"	28 S.F.
36"	36 S.F.

11 1/4° BEND	
PIPE SIZE	BEARING AREA
4"	1 S.F.
6"	1 S.F.
8"	1 S.F.
10"	2 S.F.
12"	2 S.F.
14"	3 S.F.
16"	4 S.F.
18"	5 S.F.
20"	6 S.F.
24"	9 S.F.
30"	12 S.F.
36"	15 S.F.

TEE	
PIPE SIZE	BEARING AREA
4"	2 S.F.
6"	3 S.F.
8"	5 S.F.
10"	8 S.F.
12"	12 S.F.
14"	15 S.F.
16"	20 S.F.
18"	25 S.F.
20"	32 S.F.
24"	45 S.F.
30"	71 S.F.
36"	77 S.F.

PLUG	
PIPE SIZE	BEARING AREA
4"	2 S.F.
6"	3 S.F.
8"	5 S.F.
10"	8 S.F.
12"	12 S.F.
14"	15 S.F.
16"	20 S.F.
18"	25 S.F.
20"	32 S.F.
24"	45 S.F.
30"	71 S.F.
36"	77 S.F.

NOTES:

1. SEE SPECIFICATIONS FOR CONCRETE.
2. PLACE CONCRETE AGAINST UNRESTRAINED SOIL AND FITTING ONLY, CLEAN THE JOINT.
3. ALL IRON FITTINGS SHALL BE WRAPPED WITH POLYETHYLENE FILM 8 MILS THICK INDICATES MEETING AND P.S. (SANDY CLAY) WITH ALL COES AND LAPS TAPPED SECURELY TO PROVIDE A CONTINUOUS AND WATERPROOF BARRIER.
4. DIMENSIONS ARE BASED ON 150 PSI TEST PRESSURE AND SAFE SOIL BEARING LOAD OF 1100 PSF.

REVISIONS	
NO.	DESCRIPTION



Tedney Consulting Engineers, Inc.  
REGISTERED PROFESSIONAL ENGINEER  
TECHNICAL • ENVIRONMENTAL • WATER & WASTEWATER  
FIRM REGISTRATION NO. F-148851  
1401 CAROLAN, TEXAS 75110  
AUSTIN, TEXAS 78744  
TEL (512) 336-1944

FREEDOM PARK SUBDIVISION  
HARKER HEIGHTS  
BELL COUNTY, TEXAS  
STANDARD DETAILS

JOB NO. 20007.1.100	
DESIGNED BY	SMC
DRAWN BY	SMC
APPROVED BY	ECIT
DATE	MAY 2020
SCALE	AS NOTED
SHEET	
10 OF 10	
REVISION NO. Δ	
DATE	



---

# FREEDOM PARK SUBDIVISION

---

## P20-03 Preliminary Plat – Freedom Park Subdivision

Plat Distributed to HH Staff: May 18, 2020

Comments Returned to Thonhoff Consulting Engineers, Inc.: May 22, 2020

### Planning & Development

1. Jan Circle needs to be labelled as a tract, such as "Tract A" and it should also be designated as a 24-ft Passage Easement. 5/12/20 Met

### Public Works, Mark Hyde

1. On the Water Layout Sheet, reduce the amount of water fittings that are currently following the street ROW radius. Perhaps three 45-degree bends with sections of the water main in a utility easement where the water main is outside of the ROW. 5/21/20 Met.
2. Add a 6-inch tapping valve at each 6-inch water line connection on Mary Jo Drive. 5/21/20 Met.
3. Lots 1, 8 and 9 water services should be tapped off of the existing 6-inch water line on Mary Jo Drive. I understood Lots 1, 8 and 9 to be Phase 1 of the subdivision. If there is a phasing plan, please label the phases. 5/21/20 Met.
4. The existing small diameter water line on Jamie Road appears to be outside of the Right of Way. A 10'-15' utility easement will be required with the water line centered in the utility easement. 5/21/20 Met.
5. The sanitary sewer system does not meet TCEQ requirements. Manholes are required at all changes in alignment, grade, or nominal diameter and at all intersections of collection system pipes. 5/21/20 Met.
6. Applicant shall clarify ownership of proposed water and sewer lines (private or public). All public mains shall be placed in a 10' – 15' utility easement. 5/21/20 Met.
7. Applicant shall provide stormwater drainage layout plan. 5/21/20 Met.

### Consulting Engineer, Otto Wiederhold

- All my concerns have been addressed. I have no further comments.

### Building Official, Mike Beard

### Century Link, Chris McGuire

### Time Warner Cable/Spectrum, Shaun Whitehead

### ATMOS, Shawn Kelley





# Cyber Security Awareness Training



Partnering with Texas Local Government since 1974

[www.tmlirp.org](http://www.tmlirp.org)



---

**Why Are You  
Required to Have  
Cyber Security  
Training?**



**Texas H.B. 3834**  
Government Code  
Section 2054.519 B



Partnering with Texas Local Government since 1974

[www.tmlirp.org](http://www.tmlirp.org)



- *Full Name (if not common)*
- *Social Security Number*
- *IP Address*
- *Vehicle Plate Number*
- *Drivers License Number*

**PII**

**Personally Identifiable  
Information**

*Credit Card Number* ■

*Date of Birth* ■

*Birthplace* ■

*Generic Information* ■

*Fingerprints, Handwriting, Face* ■



Partnering with Texas Local Government since 1974

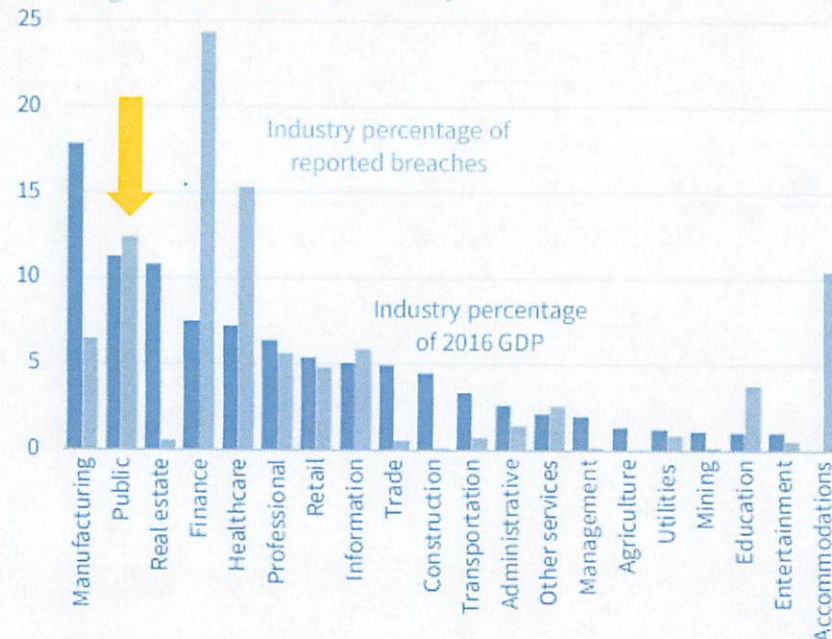
[www.tmlirp.org](http://www.tmlirp.org)



# Cyber Landscape

[Public Sector: 13%]

Figure 6. Distribution of Security Breaches by Industry  
(Percentage of 2016 GDP and Breaches)



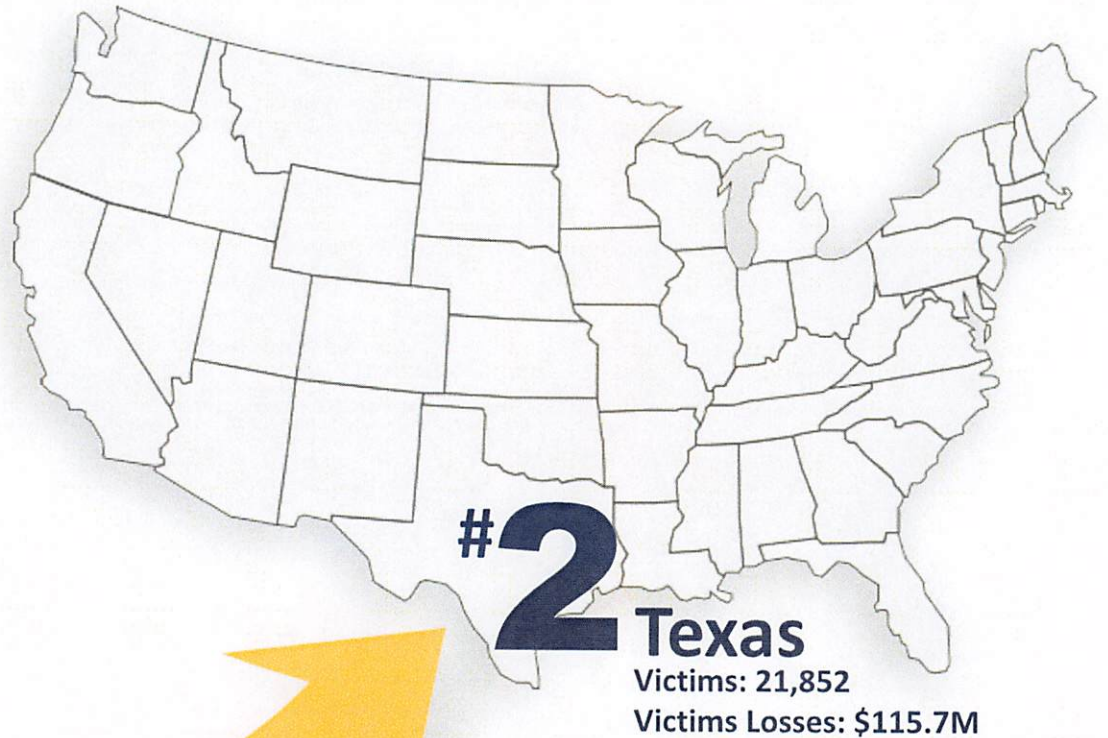
Source: Bureau of Economic Analysis; Verizon; CEA Calculations.





# Cyber Landscape

[Top 10 States by Number  
of Victims & Losses]



Partnering with Texas Local Government since 1974

[www.tmlirp.org](http://www.tmlirp.org)



# Cyber Landscape

[ Top 10 States  
Breakdown ]



## Victims

CA: 41,974

**TX: 21,852**

FL: 21,837

NY: 17,622

PA: 11,348

VA: 9,436

IL: 9,381

OH: 8,157

CO: 7,909

NJ: 7,657

## Losses

CA: \$214.2M

**TX: \$115.7M**

FL: \$110.6M

NY: \$88.6M

MA: \$39M

WA: \$43M

IL: \$42.9M

AZ: \$59.4M

CO: \$39.9M

NJ: \$40.4M

*\*According to FBI ICR*





# Principles of Information Security



- Information Security
- Define the different types of information
- What information am I responsible for safeguarding





# Data Classification

## Sensitive

Data with the most limited access and requires a **high degree of integrity**. This is typically data that will do the most damage to the organization should it be disclosed

## Confidential

Data that might be less **restrictive within the organization** but might cause damage if disclosed

## Private

Usually compartmental data that might not cause damage but **must be kept private for other reasons**. Ex: Human Resources data

## Proprietary

Data disclosed outside the organization on a limited basis or contains information that **could impact an organization's competitive advantage**, such as the technical specs of a new product

## Public

**Least sensitive data** used by the organization and would cause the least harm if disclosed. Ex: data used for marketing or number of employees





---

# 4 Main Pillars of Cyber Security

Machine  
Level

Data  
Level

Network  
Level

Internet  
Level



Partnering with Texas Local Government since 1974

[www.tmlirp.org](http://www.tmlirp.org)



# 4 Main Pillars of Cyber Security

[ Machine Level Pillar ]



The **Machine Level** includes work computers and devices, such as **phones** and **tablets**, or **home computers** that must be **treated with as much care as the data they contain**. The explosion in the use of personal computers and other personal electronic devices has led to innovation and production increases, but this ever-expanding use also creates potential risks.





# 4 Main Pillars of Cyber Security

## [ Machine Level Pillar ]



### Potential exposures to your organization:

- Weak passwords that are never changed allow hackers access to machines (single word passwords unacceptable)
- Anti-virus software is not installed or not updated
- Employees are not aware of dangers lurking related to cyber security
- Email rules and training are lacking or non-existent (clicking on links or attachments)
- Lack of control of flash drives and other portable connections
- No controls for accessing public Wi-Fi connections
- Lack of administrator controls to prevent downloading of apps or programs onto machines
- Lack of cyber security training





<p>UNCOMMON (NON-GIBBERISH) BASE WORD</p> <p>ORDER UNKNOWN</p> <p>Tr0ub4dor &amp; 3</p> <p>CAPS? COMMON SUBSTITUTIONS NUMERAL PUNCTUATION</p> <p>(YOU CAN ADD A FEW MORE BITS TO ACCOUNT FOR THE FACT THAT '0' IS ONLY ONE OF A FEW COMMON SUBSTITUTIONS)</p>	<p>~28 BITS OF ENTROPY</p> <p><math>2^{28} = 3 \text{ DAYS AT } 1000 \text{ GUESSES/SEC}</math></p> <p>(PLAYABLE ATTACK ON A WEAK REMOTE WEB SERVICE: YES, CRACKING A SEVEN-CHARACTER PASSWORD IS EASIER, BUT IT'S NOT WHAT THE AVERAGE USER SHOULD BE WORRY ABOUT.)</p> <p>DIFFICULTY TO GUESS: EASY</p>	<p>WAS IT TROMBONE? NO, TROUBADOR. AND ONE OF THE 0s WAS A ZERO?</p> <p>AND THERE WAS SOME SYMBOL...</p> <p>DIFFICULTY TO REMEMBER: HARD</p>
<p>correct horse battery staple</p> <p>FOUR RANDOM COMMON WORDS</p>	<p>~44 BITS OF ENTROPY</p> <p><math>2^{44} = 550 \text{ YEARS AT } 1000 \text{ GUESSES/SEC}</math></p> <p>DIFFICULTY TO GUESS: HARD</p>	<p>THAT'S A BATTERY STAPLE. CORRECT!</p> <p>DIFFICULTY TO REMEMBER: YOU'VE ALREADY MEMORIZED IT</p>

THROUGH 20 YEARS OF EFFORT, WE'VE SUCCESSFULLY TRAINED EVERYONE TO USE PASSWORDS THAT ARE HARD FOR HUMANS TO REMEMBER, BUT EASY FOR COMPUTERS TO GUESS.





# 4 Main Pillars of Cyber Security

[ Data Level Pillar ]



The **Data Level** applies to the quantities, characters or symbols on which operations are performed by a computer, being stored and transmitted in the form of electrical signals and recorded on magnetic, optical or mechanical recording media. The **organization's data must be treated as it is "bundles of cash"** due to the efforts necessary to recreate, if even possible. In simpler terms, "once it's gone it's gone".





# 4 Main Pillars of Cyber Security

## [ Data Level Pillar ]



### Potential exposures to your organization:

- Employees are not aware of the data created by all organizations and the importance of that data or the cost and effort necessary to restore damaged or lost data (if possible, to be restored)
- "Off-site" data backup is not provided, or backups are not performed regularly
- Employees do not believe their organization's data is relevant or "important enough" for a cyber attack
- Organization's data is not encrypted to protect from hackers





# 4 Main Pillars of Cyber Security

[ Network Level Pillar ]



The **Network Level** is becoming all-encompassing as **computers no longer operate on an “island”**, and computers are becoming connected in ways most users do not expect.

## Potential exposures to your organization:

- Anti-virus, anti-spyware or anti-malware software or firewalls are not effective
- Daily full system scans are not performed to find, quarantine and remove malicious agents from your network before damage is done
- Off-site backups are not maintained
- Lack of administrator controls of networks





# 4 Main Pillars of Cyber Security

[ Internet Level Pillar ]



**The Internet Level.** The “internet of everything” brings people, processes and data to together in a way that was not even imaginable a few years ago. Along with all the positives associated with this new experience, are the exposures and risks created for you and your employer.





# 4 Main Pillars of Cyber Security

## [ Internet Level Pillar ]



### Potential exposures to your organization:

- Almost all devices are now capable of connecting to the internet but there are few controls in some organizations to control how they are connected
- Public wi-fi is used continuously without any concern for potential issues
- Administrators do not control or limit access to the internet
- Work provided devices are used away from work extensively
- Employees are not aware of potential issues and training is not provided





# Best Practices for Detecting, Assessing, Reporting, & Addressing Threats



Partnering with Texas Local Government since 1974

[www.tmlirp.org](http://www.tmlirp.org)





## Meaning Of Threat

Threat is the potential targeting of a network or system in an attempt to damage, harm or disrupt its capability to operate. This targeting can potentially impact the confidentiality, integrity and availability of the organization's data.





*[Meaning Of Threat]*

## Common types of threats include:

- Theft of confidential, proprietary, or sensitive information
- Modification of existing data, and the compromise of how that data is collected, processed, and stored
- Unauthorized access allowing an external user to gain control of a system to block access to data





# What is a “Threat Actor” and What Are Their Goals?

A threat actor is **anyone who tries to exploit vulnerabilities** in an organization’s systems or users.

- Profit, financial or otherwise
- Damaging the victim, financially or otherwise
- Damaging the reputation of the victim gathering data that might be used in future attacks
- Gathering data that might be traded or sold to other actors
- Curiosity or malice



## Consider This

The idea of a hacker sitting in a dark room deftly finding cracks in firewalls and guessing passwords is still valid, but just as often these days the door is opened for them by unsuspecting users. **Malware sent in infected email attachments still work**, despite the best efforts of anti-virus software companies to stamp it out. Often that is not needed, however. An email containing a link to a website inviting the user to log in to receive an invoice or other enticement is just as likely to succeed by harvesting that user's username and password as someone with advanced technical skill sneaking in through an arcane software vulnerability.







# What is meant by “Risk”

Information security risks are choices made by an organization in its technology and people (internal & external)

**Technology** — Hardware  
Software  
System Engineering

**People** — Employees (morale, malicious, non-engaged, non-tech savvy, lack of training)  
External People (tech vendors, visitors, volunteers, contractors)





# What is meant by “Attack”

Attacks on information security can be defined as any **attempt to gain access or control of** an organization's **data or information systems**, no matter what the level of sophistication

## Types of Attacks can Include

- Emails
- Phone Calls
- Texts
- USB Drives / Flash drives
- Internet of Things
- Letter







## Types of Tactics Used in an Attack

- Phishing
- Spear Phishing
- Social Engineering
- Whaling
- Malware
- Ransomware
- Vishing  
(voice phishing)



---

# Recognizing Common Attacks

---

Malware, covering software with many names like viruses, trojans, worms, backdoors, spyware, and so on, is very common and pernicious. While there are many reputable companies doing excellent work to combat it, it is always true that some get through, especially new formulations that have not yet been recognized. **The risk of user aptitude in how to handle attachments comes into play.** No attachment should be delivered to an inbox without scanning, and a user should not open a document without scanning it again.



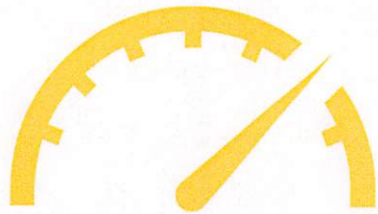


# Top 10 Tips for Identifying a Phishing Email



1. The message contains a mismatched URL (Uniform Resource Locator)
2. The URL contains a misleading domain name (website name)
3. The message contains poor spelling and/or grammar
4. The message asks for personal information
5. The offer seems too good to be true
6. You didn't initiate the action
7. You're asked to send or provide money or payment
8. The message includes unrealistic threats
9. Something just doesn't look right
10. The email includes an embedded link or attachment that you are asked/tempted to open





# Responding To and Reporting Common Attacks



Partnering with Texas Local Government since 1974

[www.tmlirp.org](http://www.tmlirp.org)





## Responding to an Attack

The common thread to all the attacks outlined previously is the reliance on the user not to question or verify the actions requested. The internet was built on trust, with all the threats present today not even imagined when much of the technology at its core was created. Thus, **responsibility falls on the users and organization** to employ a sustained, suspicious vigilance in any contact.

The most powerful key in any security system is the “delete” key. When a user receives **an email that is even a little suspicious, deleting it is usually the best course of action**. Where possible, verification by calling a known phone number is best. The email might contain a phone number to call in case of questions, but better for the user to find a number independently if not already known.





## Responding to an Attack

Many organizations have an IT department, whether a dedicated, in-house team or an outside contractor, and they should be utilized as a resource for validation of suspicion. Any IT professional will say that it's better to be asked a thousand questions about benign material than to have to eradicate one rampant virus.

Management should be sensitive to user questions and doubts. Without a full-time staff, management should **develop methods for reporting and tracking threat detection**. Without that, an organization might be under continued siege without anyone recognizing it, making improvements to defense impossible.







## Responding to an Attack

Attackers might send out a million phishing messages a day with virtually no cost. **Failure to recognize** even one of these **attacks can yield thousands of dollars** to the attackers **and a blow to the reputation** of the organization, not to mention the employee.





# Reporting

Users should be aware of how to identify, respond to, and report on threats to information security and suspicious activity

- **Internal Reporting**

All suspicious activity should be reported according to your internal policy

- **External Reporting**

Contact all involved parties (contractors, vendors)

- **Cyber crime must be reported to law enforcement**







Provide external and internal stakeholders with tools needed to ensure **reliability, usability, and security**

- Policies that ensure information security
- Vetting of internal and external stakeholders
- Employee Training Programs
  - ✓ Meets H.B. 3834 Requirements
  - ✓ Awareness Based Training
  - ✓ Internal Policy Training
  - ✓ Ongoing Training (new exposures as identified)



# Conclusion

- Testing/Assessment of Knowledge (Corrected to 100%)
- Sign In Log
- Certificate of Completion (Personnel File)







## Free Resources for Public Entities

- TMLIRP members (must login): eriskhub at [www.tmlirp.org](http://www.tmlirp.org)
- All governmental entities have free access to: <https://www.cisecurity.org/ms-isac/>





Partnering with Texas Local Government since 1974

[www.tmlirp.org](http://www.tmlirp.org)